

SOUTH GIPPSLAND PLANNING SCHEME
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Appendix 2: Marked up ordinance for planning scheme amendment

South Gippsland Planning Scheme

Acronyms used in this document

Document name	Source code
<i>Council Plan 2022-2026 (SGSC, 2022)</i>	SGCP
South Gippsland Healthy Communities Plan (SGSC, 2021)	SGHCP
South Gippsland Community Vision 2040 (SGSC, 2022)	SGCV
South Gippsland Integrated Planning Engagement Report (SGSC, 2022)	SGIPER
South Gippsland Advocacy Strategy 2022 (SGSC, 2022)	SGAS
South Gippsland Economic Development Strategy 2021-2031 (SGSC, 2021)	SGEDC
South Gippsland Domestic Animal Management Plan 21-22 (SGSC, 2021)	SGDAMP
South Gippsland Arts, Culture & Creative Industries Strategy (2022-2026)	SGACCIS
South Gippsland Asset Plan 2022/23 – 2031/32 (2022)	SGAP
South Gippsland Blueprint for Community and Economic Infrastructure 2021-2036 (SGSC, 2021)	SGBCEI
South Gippsland Community Engagement Strategy 2020-2024 (SGSC, 2020)	SGCES
South Gippsland Community Strengthening Strategy 2018-2022 (SGSC, 2018)	SGCSS
Municipal Domestic Wastewater Management Plan 2022-2026 (SGSC, 2022)	MDWMP
South Gippsland Environmental Sustainability Framework 2021 (SGSC, 2021)	SGESF
South Gippsland Paths and Trails Strategy 2018 (SGSC, 2018)	SGPTS
South Gippsland Road Management Plan 2022 (SGSC, 2022)	SGRMP
South Gippsland Social and Affordable Housing Strategy 2022 (Horsnby & Co, 2022)	SGSAHS
South Gippsland Tree Management Plan (SGSC, 2021)	SGTMP
South Gippsland Visitor Economy Strategy 2021-2031 (SGSC, 2021)	SGVES
South Gippsland Waste Management Strategy 2016-2021 (SGSC, 2016)	SGWMS
Gunai Kurnai Whole of Country Plan (Gunaikurnai Land and Waters Aboriginal Corporation 2015)	GKWCP
West Gippsland Regional Catchment Management Strategy 21-27 (WGCMA, 2021)	WGRCMS
Gippsland Regional Plan 2020-2025 (Gippsland Regional Plan Leadership Group 2020)	GRP

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PPF	<p>The new Planning Policy Framework (PPF) was introduced into the Victoria Planning Provisions (VPP) and all Victorian planning schemes through the gazettal of amendment VC148 on 31 July 2018.</p> <p>The PPF improves the operation of planning policy in Victoria and better aligns state and local policy. It is based on a three-tier structure that integrates state, regional and local policy. https://www.planning.vic.gov.au/policy-and-strategy/smart-planning-program/planning-policy-framework</p>
PG approved verb	<p>A Practitioner's Guide to Victoria's Planning Schemes approved Verb. The PG was introduced when the Planning Policy Framework (PPF) transitioned to the new format planning scheme. The PG gives us a list of verbs and expressions we can and can't use in planning schemes. For example, we can say 'Discourage' but we can't say 'Strongly Discourage'. We can say 'Should Not' but can't say 'Must Not'. https://www.planning.vic.gov.au/data/assets/pdf_file/0030/571377/A-Practitioners-Guide-to-Victorian-Planning-Schemes-V_1.5.pdf</p>
The Act	<i>The Planning and Environment Act 1987</i>
MPS	<p>Municipal Planning Strategy. The MPS outlines the planning outcomes the municipality seeks to achieve that will be implemented by the policies and requirements of the planning scheme. This is the local content in the planning scheme. The PPF and the MPS together form the strategic foundation of the scheme.</p>
PPN	<p>Planning Practice Note which provides ongoing advice about the operation of the Victoria Planning Provisions (VPP) and planning schemes as well as a range of planning processes and topics. They may be updated from time to time. https://www.planning.vic.gov.au/resource-library/planning-practice-notes</p>
VPP	<p>Victoria Planning Provisions. The VPP sets standardised planning scheme provisions that are designed to implement the six principles for planning schemes in Victoria</p>
LPPF	<p>Local Planning Policy Framework. This sets a local strategic policy context for a municipality.</p>
MD	<p>Ministerial Direction on the Form and Content of Planning Schemes. The Minister for Planning issues directions to planning authorities about the preparation of planning schemes and amendments to planning schemes. Planning authorities must comply with the Ministerial Direction on the Form and Content of Planning Schemes, issued under Section 7(5) of the Planning and Environment Act 1987. The direction applies to planning scheme layout and required information - including amendments to those planning schemes - and should be read together with the Victoria Planning Provisions. Planning authorities must consider all Ministerial directions when preparing a planning scheme or an amendment to a planning scheme. https://www.planning.vic.gov.au/guide-home/the-role-of-the-minister</p>

02 MUNICIPAL PLANNING STRATEGY

C127sgjp 03/03/2022

02.01 CONTEXT

C127sgjp 03/03/2022

South Gippsland Shire is a large rural municipality containing a population of approximately 30,000 people dispersed across 26 settlements and 41 localities.

[The Gunaikurnai, Bunurong and Boonwurrung people are the traditional inhabitants and owners of the South Gippsland Shire region.](#) [GKWCP, p8; AIATSIS website, Map of Indigenous Australia]

[The Shire has an estimated resident population of 30,577 persons \[ABS census, 2021\], which is forecast to increase to 33,930 persons in 2036. \[VIF 2019\] \[to include the most up to date demographic data\]](#)

Leongatha is the largest town and the municipal centre. The municipality is largely bounded by the Strzelecki Ranges in the north and the coast in the south. The north-western area of the Shire is located approximately 100 kilometres south east of Melbourne, and the south-east border is approximately 20 kilometres from Yarram.

Primary industries, especially agriculture, combined with associated value-adding and food processing are the Shire's main economic driver. The dairy industry is significant in this sector. Impacts of climate change over time will place added significance on the Shire's agricultural land resources, which are predicted to benefit from comparatively secure annual rainfall.

[South Gippsland supports 11,157 jobs and has an annual economic output of \\$4.1B. The Agriculture, Forestry and Fishing industry sector makes the greatest contribution to economic output in the region and is also the largest employer.](#) [REMPLAN 2022] [to include the most up to date economic data]

Tourism is based on the natural and coastal environments (including Wilsons Promontory National Park, Corner Inlet, Shallow Inlet and Nooramunga Marine and Coastal Parks and Cape Liptrap Coastal Park), landscapes, and food and arts culture.

02.02 VISION

C127sgjp 03/03/2022

The South Gippsland Shire Council's vision in the Council Plan 2020-2024 relating to land use and development is:

- *To establish the Shire as a thriving and diverse local economy that builds on our region's natural advantages.*
- *To provide the community with services and infrastructure that enhance liveability and environmental sustainability for current and future generations.*

Strategic objectives to be balanced in support of the vision include:

- To build a sustainable and growing economy that attracts and supports businesses, broadens and strengthens industry sectors, creates sustainable employment and establishes the Shire as a 'food bowl' that feeds the State and beyond.
- To work together with surrounding councils to support regional growth and prosperity.
- To develop plans that will balance and use the natural values of the environment, improve the Shire's liveability and build on the benefits of our proximity to Melbourne.
- To enhance liveability and environmental sustainability for current and future generations.
- To engage the community in developing significant strategic plans and continued involvement in decision making.
- [To sustainably adapt to protect and enhance our unique natural environment, towns and villages.](#) [NEW SGCV, p8] [to implement adopted Council policy]

02.03 STRATEGIC DIRECTIONS

C127sgjp 03/03/2022

02.03-1 SETTLEMENT

C127sgjp 03/03/2022

Settlements in the Shire are highly dispersed, with Leongatha, Korumburra, Mirboo North and Foster containing the majority of the permanent population. Housing growth is mostly occurring in settlements near the South Gippsland Highway particularly Leongatha, Korumburra and Nyora. The growth is based on access to local employment and in metropolitan Melbourne, Wonthaggi and the Latrobe Valley combined with the relatively low property prices and the high amenity value of the settlements. Demand for holiday house growth is also expected to continue, mainly in the west of the Shire and in coastal settlements.

The Shire includes fully serviced, partly serviced and un-serviced settlements. Provision of necessary infrastructure is critical to being able to support housing growth.

Council seeks to:

- Direct growth to settlements in accordance with their role and function as set out in the South Gippsland settlement hierarchy outlined in this clause.
- Support the provision of reticulated water, sewerage and drainage improvements to settlements to protect community health and environmental values and to support population growth.

Settlement hierarchy

The roles and functions of the settlements have been summarised below.

Principal centre – Leongatha

Leongatha is the municipal centre of the Shire, supporting a large and growing population. It provides access to various levels of education, health, recreation and cultural opportunities and is connected to essential utility services and public transport. Leongatha is a centre of state significance for the dairy milk processing and beef industries. Leongatha's future will depend on consolidating and growing its commercial sector, promoting residential development, and defining and building upon Leongatha's broader role within the greater West Gippsland region.

Council seeks to:

- Promote Leongatha as the principal regional service centre in the Shire.
- Support housing growth, the provision of higher level community services and economic development.
- Maintain the Town Centre as the hub for retail and service uses.

Large district centre – Korumburra

Korumburra is the second largest town in the municipality and a key retail and commercial service provider to the smaller towns and communities in the Shire's western region. Dairy milk processing is a key contributor to the township's economic and employment growth. Korumburra is becoming increasingly accessible to metropolitan Melbourne and this helps underpin population and economic growth that will contribute to securing the town's future.

Council seeks to:

- Promote Korumburra as a Large District Centre offering significant industrial, retail, service, residential and tourism functions in the Shire.
- Provide sufficient residential land to provide for sequential and staged residential development at a range of densities within existing infrastructure networks, to accommodate future township growth.
- Maintain the Town Centre as the compact retail and service hub of the town.

Emerging district centre – Nyora

Nyora is the closest South Gippsland Shire town to metropolitan Melbourne. Nyora offers a desirable lifestyle location due to its rural character and proximity to major urban centres and the Port of Hastings, and is experiencing accelerating population growth. Significant land is zoned for urban growth in Nyora and it is emerging as the principal development front in South Gippsland. Planning for the town and new residential areas needs to accommodate new infrastructure and commercial and community services that support the community's social and employment needs whilst respecting the town's rural character.

District towns – Foster and Mirboo North

District towns are key retail and service centre for a rural hinterland containing a localised range of retail, education, health and recreation opportunities.

Foster is the principal town in the eastern half of the Shire. Foster's proximity to Wilsons Promontory has promoted the town to a leading role in the region's growing tourism industry. Foster is also well situated to benefit from the economic activity likely to be generated from the continuing development of port related activities around Corner Inlet. With its pristine environment and open farmed landscapes, Foster is an attractive location for retirement living and 'lifestyle change' residential growth.

Mirboo North is the principal township in the north of the municipality. Its local economy is supported by the servicing of the surrounding agricultural activities and rural population. Tourism is an increasingly important economic contributor and a basis upon which future growth may be promoted. It is important that growth complements the existing character of the township and ensures adequate protection from and management of bushfire hazards.

Council seeks to:

- Promote District towns as service centres for the local community and surrounding rural areas.
- Consolidate Foster's role as the key commercial and community service provider to the eastern region of the municipality.
- Promote Mirboo North as a sustainable community and the principal town in the north of the Shire.
- Protect and enhance the distinctive village atmosphere and picturesque location within the Strzelecki Ranges in Mirboo North.

Small towns – Fish Creek, Loch, Meenyan, Nyora, Poowong and Toora

The small towns provide limited services to their rural hinterlands and rely on nearby larger towns to provide higher level services. They are desirable lifestyle locations with unique character set in picturesque locations.

Fish Creek is an attractive small town with a distinctively artistic and heritage character. The absence of reticulated sewerage means Fish Creek has limited potential for urban expansion. Some parts of the town are also subject to inundation.

Loch township has a moderate growth opportunity that should be supported, provided the essential compact 'village' character can be maintained. The heritage character and design of the built form provides a critical component to the overall image and identity of the township, and underpins both its tourism role and village atmosphere.

Meenyan provides retail, community and trades services to its residents and the smaller settlements in the surrounding district. Located at an important junction on the main route to Wilsons Promontory, Meenyan's tourism role as 'Gateway to the Prom' is boosted by its arts, culture and food attractions.

~~Nyora is the closest South Gippsland Shire town to metropolitan Melbourne. Nyora is seen as a desirable lifestyle location due to its rural character and proximity to major urban centres and is experiencing accelerating population growth. Planning for the town and new residential areas needs to accommodate new infrastructure and commercial and community services that support the community's social and employment needs whilst respecting the town's rural character.~~

Poowong is located on a narrow ridgeline with panoramic views over the surrounding rural hills. Its role as a service township for the surrounding agricultural communities will continue. The town can support a limited level of population growth.

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Toora is located between the foot of the Strzelecki Ranges and the coastal plain, with views across Corner Inlet. The commercial hub and majority of the town development is located off the South Gippsland Highway, contributing to the township's appeal. Numerous buildings in the main street have heritage value and the town has an attractive entry point to the Great Southern Rail Trail.

Council seeks to:

- Support compact growth and development that respect existing character and landscape values, while also providing safe and attractive residential environments.
- Facilitate staged residential growth and land release so that the provision of physical, retail, commercial and community infrastructure occurs concurrently to development, strengthening the towns' roles in providing essential services to growing populations.
- Conserve and enhance heritage places for their contribution to the overall character of the towns.
- Strengthen the economic future of the towns, including in relation to tourism, employment and industry as relevant.

Villages – Koonwarra and Welshpool

The villages comprise small settlements on urban zoned land with some retail, education and recreation facilities that service the village population and local rural catchment. Nearby larger towns provide the higher order, essential services.

Koonwarra has a distinct character focussing on environmental awareness, sustainability and boutique gourmet food.

Welshpool provides limited retail, educational, community and public transport services for local residents and the rural hinterland including the nearby coastal village of Port Welshpool.

Council seeks to:

- Provide an attractive and safe residential environment and strengthen the economic future of Koonwarra and Welshpool within the village settlement boundaries.

Coastal Villages – Port Welshpool, Sandy BayPoint [Council-identified anomaly], Tarwin Lower, Venus Bay, Walkerville, Waratah Bay and Yanakie

In addition to supplying a limited range of services and facilities to residents, Coastal Villages service holiday populations as well as significant retiree and partially absentee residents. The character of the Coastal Villages combined with their environmentally significant surrounds and landscapes, affords them a charming attractiveness.

Port Welshpool provides facilities for commercial and recreation fishing, and holiday visitors. Largely surrounded by Crown land, the settlement is within the Corner Inlet Amphitheatre Significant Landscape, adjacent to the Corner Inlet Ramsar wetlands and is affected by bushfire risk and inundation associated with sea level rise.

Walkerville is a Coastal Village adjoining and surrounded by the Cape Liptrap Coastal Park: The town has a mix of holiday and permanent residents. Absence of reticulated water or sewer are a development restriction.

Council seeks to:

- Contain growth within settlement boundaries to protect the environmental, landscape and agricultural values between and surrounding the settlements.
- Balance growth and development with the associated impacts on vegetation, soil stability and water quality and the risks of climate change.
- Provide an attractive and safe residential environment and strengthen the economic future of each coastal village.

Hamlets – Bena, Buffalo, Dumbalk, Jumbunna, Kongwak, Mirboo, Port Franklin, Ruby and Stony Creek

The Hamlets are characterised by a cluster of housing on urban or small rural allotments with limited infrastructure and community services, and often no, or highly limited, retail services. Some Hamlets have potential for small-scale tourism associated with local agricultural products, markets, the rail trail, rural landscapes and natural environments.

Bena is a rural residential hilltop Hamlet located on the former railway line with limited recreation and community facilities.

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Buffalo is a former railway Hamlet adjacent to the Great Southern Rail Trail with recreation and limited community facilities. Much of the town is susceptible to bushfire risk.

Located in a dairying area and relatively close to larger settlements, Dumbalk is a residential Hamlet that is serviced by a limited range of commercial and community facilities.

Historically a coal mining and railway settlement, Jumbunna is now a quiet Hamlet with Victorian-era character. Issues with potential contamination and location of shafts associated with the settlement's mining history is a constraint on development.

Kongwak is located in a foothills dairying area, with part of the town susceptible to bushfire risk. It has relatively good community, recreation and tourist-attracting facilities including an historic former butter factory.

Mirboo is a low density settlement located in a valley of the Strzelecki Ranges with the Tarwin River winding along its north and east boundaries. It has limited community facilities.

Port Franklin is a residential fishing and port Hamlet located adjacent to the Corner Inlet Ramsar wetlands and the Corner Inlet Marine and Coastal Park. Coastal climate change and susceptibility to inundation affect the fringes of the Hamlet.

Ruby is a former railway Hamlet with a small cluster of community facilities and rural residential houses in a rural zoning. It has access to services at Leongatha and Korumburra.

Stony Creek is a former railway Hamlet with numerous Victorian-era buildings adjacent to the Great Southern Rail Trail. Parts of the town are susceptible to bushfire risk.

Council seeks to:

- Contain growth within the settlement boundary of each Hamlet to protect agricultural, landscape and environmental values and to reduce risks associated with environmental hazards.
- Provide an attractive and safe residential environment in each hamlet.

Localities – Agnes, Arawata, Darlimurla, Hedley, Kardella, Nerrena, Strzelecki and others

Scattered across the Shire, the localities comprise clusters of housing located in rural areas on small rural allotments. They have minimal to no infrastructure or community facilities and are relatively isolated from higher level settlements. Some of the localities are affected by susceptibility to erosion, bushfire or inundation. Some localities have potential for small-scale tourism associated with local agricultural products, rail trails, rural landscapes and natural environments.

Council seeks to:

- Contain growth within settlement boundaries to protect agricultural, environmental and landscape values, and to reduce risks associated with environmental hazards.
- Support small-scale tourism businesses that complement the natural environment, agricultural and landscape values of the region or are associated with proximity of the Great Southern Rail Trail.

02.03-2 ENVIRONMENTAL AND LANDSCAPE VALUES

C127sgjp 03/03/2022

Biodiversity

Since European Settlement, there has been a steady decline in biodiversity in Australia. South Gippsland Shire has mirrored this trend with only approximately 15 per cent of the native vegetation that existed prior to 1750 remaining (excluding Wilsons Promontory Bioregion). Much of the Shire's remaining native biodiversity is now found on private property and roadsides. The protection, enhancement and linking of remnant vegetation and animal species on private and public land is an important issue facing the community.

Council seeks to:

- Protect sites of biological significance including on roadsides and private property.

Coastal and hinterland landscapes

Specific landscapes within the Shire have been determined to have either state or regional significance. These are the landscapes of Venus Bay Peninsula and Anderson Inlet, Venus Bay Dunes, Cape Liptrap and Waratah Bay, Corner Inlet Amphitheatre, Bunurong Coast and Hinterland, Tarwin Floodplain, and Welshpool Hills and Mount Hoddle.

Council seeks to:

- Retain undeveloped breaks between settlements by focussing further development within existing township boundaries and avoiding ribbon development, particularly along the coastal strip and key touring routes.
- Ensure coastal development including at the edge of settlements responds to the landscape setting and character.
- Maintain locally significant views and vistas that contribute to the character of the coast and coastal hinterland region.

02.03-3 ENVIRONMENTAL RISKS AND AMENITY

C127sgjp 03/03/2022

Climate change

The effects of climate change on the local environment are starting to appear and will continue into the future. The potential flow-on effects from changing climatic conditions include reduced agricultural production, decreased and more erratic environmental flows in waterways and wetlands, increased risk of bushfire, and decreased water security for settlements and activities. Direct impacts of climate change are also likely to include an increase in storm surges, increased and altered patterns of erosion of beach and dune systems, undercutting of cliffs, increased peak flows in coastal rivers and estuaries and damage to coastal infrastructure (piers, jetties, breakwaters and seawalls). [Climate modelling suggests that South Gippsland will be less impacted by rainfall variability than northern parts of the State which will place additional pressure on agricultural land to provide food and fibre for the State.](#) [Factual data that reflects likely changes]

[South Gippsland relies on key industries such as agriculture and tourism which are particularly vulnerable to climate change impacts. Extreme weather events, disrupted rainfall patterns and seasonality, sea level rise and coastal inundation are all dangerous and disruptive to these industries \[NEW SGESF, p9\] \[to implement adopted Council policy\]](#)

Council seeks to:

- Apply the precautionary principle when considering the intensification of development in coastal areas.

02.03-4 NATURAL RESOURCE MANAGEMENT

C127sgjp 03/03/2022

Agriculture

South Gippsland Shire contains some of the most productive agricultural areas in Victoria and provides a substantial proportion of Victoria's milk as well as beef, prime lamb and vegetables. Agriculture and its associated processing and service industry underpin the Shire's economy. With issues of climate change and water scarcity at hand, there is likely to be increasing demand for the Shire's high quality

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agricultural land from producers in less fertile areas. Existing farming activities in the Shire will need to have the capacity to grow and expand and will require access to affordable land unencumbered by unwanted infrastructure. [Use regenerative and sustainable land management practices will be essential to ensure long term viability of agricultural land. \[NEW SGCP, p17\] \[to implement adopted Council policy\]](#)

Considerable opportunities exist to add value to primary produce and to diversify the base income of the rural sector and improve employment opportunities. The region's competitive strengths of rich agricultural soils, high rainfall and proximity to Melbourne should be promoted to attract new industries complementary to the region's lifestyle.

Council seeks to maintain a viable and sustainable agricultural industry as the cornerstone to the Shire's economy and its future wellbeing by:

- Protecting high quality agricultural land for primary production.
- Supporting diverse and sustainable agriculture industries, including promoting the region as a premium 'green' products food bowl.
- Facilitate the provision of essential services to support agricultural production.
- Facilitate industries in rural areas that specifically support the agricultural sector and add value to primary produce.
- Promote agricultural land management that includes sustainable integration of economic and environmental needs.
- Support the development of the marine and farm forestry industries.

Rural dwellings

The settlement and subdivision history of the Shire has left a legacy of small lots scattered amongst larger farming lots. These lots are often isolated, or in strips along road sides and surrounded by agricultural uses. Multi-lot farms (tenements) are the most common structure of land tenure in the Shire, with commercially viable production areas being formed by the aggregation of smaller lots.

The Shire's significant environmental and landscape assets make the area attractive for rural residential lifestyles. The northern and western areas of the Shire are particularly popular for rural living. There is a significant level of ad hoc rural lifestyle development already in the rural areas of the Shire. The conversion of agricultural land into rural residential land use activities results in a net loss to agriculture due to permanent land use changes. There is also a need to avoid landscape and servicing issues arising from the development of dwellings not reasonably connected to agricultural activities.

Council seeks to:

- Avoid the development of dwellings on rural land that may prejudice existing agricultural activities on surrounding land.
- Maintain agricultural land in agricultural use for the cost-effective production of food and raw materials.
- Maintain cost-effective servicing of towns and communities across the Shire by avoiding the impacts of a dispersed population base.

Rural subdivision

The rural areas of South Gippsland have experienced a high level of land fragmentation, arising from both historical settlement patterns and less stringent planning policies under earlier planning schemes. Left unchecked, further fragmentation through land subdivision could have considerable implications for the supply of affordable agricultural lots, agricultural production, landscape and the servicing of populations in outlying areas.

As South Gippsland already has a considerable supply of a range of lot sizes, further subdivision for genuine agricultural reasons will rarely be necessary.

Council seeks to:

- Limit the further fragmentation of rural land by subdivision.
- Ensure that lots resulting from subdivision are of a sufficient size to be of benefit to agricultural production.
- Encourage the consolidation of rural lots.

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- Encourage the restructuring of old and inappropriate subdivisions including old Crown Townships.
- Limit the cumulative impact of house lot excisions, including serial small lot subdivisions.

Land and catchment management

Land and water degradation issues facing the Shire include soil erosion, pest plants and animals, water quality and salinity. It is important to ensure that the Shire's natural resources are protected for the benefit of current and future generations.

Developments in floodplains must be appropriately managed to minimise the risk and cost to both private landowner and the broader community.

Council seeks to:

- Apply integrated catchment management principles when managing the Shire's land and water resources.
- Limit changes in land use that lead to a decline in the quality of land and water resources.
- Improve water quality and quantity in aquatic and riparian ecosystems, including streams, rivers, lakes, bays and their adjacent side channels, floodplains, wetlands and the Shire's declared catchments.

Extractive industry

South Gippsland Shire is well placed to strengthen and build upon its existing resources, assets and infrastructure to create new and diverse economic development opportunities in relation to extractive industry.

Council seeks to:

- Protect the area identified in the Lang Lang to Grantville Regional Sand Extraction Strategy in the north west of the Shire for its significant regional sand resource.
- Support sand extraction, quarrying and mining activities that do not have significant adverse impacts on the environment.
- Ensure the rehabilitation of mines and extractive industry sites at the completion of their use.

02.03-5 BUILT ENVIRONMENT AND HERITAGE

[C127sgjp](#) 03/03/2022

The protection of settlement character and landscape and environmental values through the design and siting of development is necessary to maintain the Shire's desirability as a place to live, work and visit.

Council seeks to:

- Promote sympathetically designed and located development that complements the built form character, environmental, topographical and landscape values of its location.

Signs

Signs are required for information and service provision respectively for residents, businesses and visitors. Sensitivity is required in design and location of these necessary structures so they do not detract from the Shire's built and natural environments.

Council seeks to:

- Encourage signs that will enhance the visual amenity of the built and natural environment and minimise detrimental impacts on the landscape and road safety.

Industrial development design

There is a need to improve the appearance and overall amenity of industrial areas to make these areas more attractive to new industries seeking to establish within the Shire.

Council seeks to:

- Encourage industrial development that is safe, functional, attractive and does not detract from surrounding amenity.

Environmentally sustainable design

All development should be encouraged to incorporate energy efficient principles in their design and to be resilient to the impacts of climate change. This will promote the development of sustainable and resilient communities throughout the Shire.

Council seeks to:

- Encourage the use of passive and active energy efficient systems in development.

Heritage

The Shire contains a rich and diverse natural and built heritage. Apart from the important cultural and social values of heritage places, they provide significant economic benefits by enhancing the appeal of the Shire as a place to live, work and visit.

Council seeks to:

- Protect heritage places from development that would diminish their significance.
- Retain, use, manage and develop heritage places in a way that conserves or reveals their heritage significance and their contribution to the identity, culture and history of the municipality.

02.03-6**HOUSING**

The Shire contains a range of housing types that contribute to the lifestyle opportunities and attractiveness of the region as a place to live. For the long-term sustainability of the region, it is important that opportunities are provided to accommodate the changing lifestyles and housing needs of the population. Currently, there is a lack of innovative and creative medium density housing development within the Shire and opportunities exist to encourage this type of development.

Council seeks to:

- Accommodate housing growth that is sustainable and sympathetic to:
 - The hierarchy and existing character of the Shire's settlements.
 - The availability and capacity of infrastructure and commercial, community and transport services.
 - Significant environmental features and landscapes.
 - Continuation of commercial agriculture in rural areas.
- Encourage diversity in dwelling type, size, adaptability and accessibility to provide greater choice and affordability to suit a range of needs.

02.03-7**ECONOMIC DEVELOPMENT**

C127sgjp 03/03/2022

Diversified economy

Value adding manufacturing and processing plays an important part in the future economic growth opportunities in the Shire. The lower operational costs for businesses and the unique lifestyle that the Shire offers should be promoted to attract new employment opportunities and population growth.

Council seeks to build a sustainable and growing economy that: [NEW SGEDC,p23] [to implement adopted Council policy]

- Attracts and supports businesses. [NEW SGEDC,p23] [to implement adopted Council policy]
- Broadens, builds upon and strengthens existing industry sectors. [NEW SGEDC,p23] [to implement adopted Council policy]
- Utilises the natural environment and improves liveability in the Shire. [NEW SGEDC,p23] [to implement adopted Council policy]
- Builds on the benefits of the Shires' proximity to Melbourne. [NEW SGEDC,p23] [to implement adopted Council policy]
- Creates and sustains local employment opportunities. [NEW SGEDC,p23] [to implement adopted Council policy]
- Establishes the Shire as a food hub that feeds the State and beyond. [NEW SGEDC,p23] [to implement adopted Council policy]

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- [Delivers services to support the growth of the local and regional economy. \[NEW SGEDC,p23\]](#) [to implement adopted Council policy]
- [Supports regional growth and prosperity. \[NEW SGEDC,p23\]](#) [to implement adopted Council policy]

Council seeks to:

- ~~Attract and develop value adding opportunities to diversify the industry base and maximise industrial employment opportunities.~~
- ~~Locate service industries in towns where they support the local population and provide employment opportunities.~~
- Encourage major economic development opportunities associated with the use of deep water port facilities at Barry Beach.

Tourism

Tourism is fast becoming a significant employer and generator of economic activity within the Shire. The region boasts Wilsons Promontory National Park and borders Phillip Island. The Shire's rural landscapes, spectacular coastal areas and numerous historically and culturally significant sites are major tourist attractions. The South Gippsland region provides a diverse range of recreational and tourism-related experiences such as festivals, Coal Creek Community Park and Museum, Grand Ridge Road scenic drive, the Great Southern Rail Trail and the Grand Ridge Rail Trail, boutique food and beverage outlets and the Nyora Speedway. Growth opportunities exist in eco-tourism while agricultural and farming activities can service the industry through the development of agri-tourism.

Council seeks to:

- [Encourage greater investment in the accommodation sector to support longer visitor stays and greater spend in the region. \[NEW SGVES,p30\]](#) [to implement adopted Council policy]
- [Diversify the Shire's visitor products and experiences to encourage new and existing markets to visit, stay and spend. \[NEW SGVES,p30\]](#) [to implement adopted Council policy]
- Protect the Shire's heritage assets, coastline, rural landscapes and agricultural produce for their tourism value.
- Encourage the development of eco-tourism and agri-tourism, building on the Shire's natural assets and agricultural land use.
- Encourage tourism use and development in association with the Great Southern Rail Trail and the Grand Ridge Rail Trail.

02.03-8 TRANSPORT

C127sgip 03/03/2022

Many of the roads within the Shire are facing increased usage by large transport vehicles associated with agriculture, timber haulage and other industries. The ongoing development of freight transport opportunities is required for the future economic prosperity of the Shire.

Additional public transport facilities and sustainable transport options are needed to improve accessibility for the resident population, visitors and the wider community.

The Leongatha aerodrome is the only commercially operated airfield within the Shire, and the area surrounding the aerodrome needs to be protected to ensure that incompatible development does not restrict its future expansion.

Council seeks to:

- Facilitate interconnected pedestrian, bicycle and bridle paths throughout the Shire.
- Maintain a safe and efficient road network across the Shire.
- Support the development of the region as a strategic base for freight transport and logistics.
- Ensure that any future expansion of the Leongatha aerodrome is not prejudiced by the encroachment of incompatible land use and development.

02.03-9 INFRASTRUCTURE

C127sgip 03/03/2022

Infrastructure design and provision

The design, management and delivery of infrastructure are key issues for Council. The Infrastructure Design Manual (IDM) includes guidelines for the design and construction of infrastructure within the municipality. The IDM complements the objectives and standards of Clause 56 for residential subdivision applications.

Council seeks to:

- Ensure a consistent approach to the planning, design and construction of infrastructure.

Alternative energy

The use of renewable energy sources such as solar and wind power is a small, yet significant, method by which the community can address the global issue of climate change.

Council seeks to:

- Encourage the use of alternative energy sources in a way that does not detrimentally affect the surrounding environment.

Community infrastructure

Due to the widespread distribution of the Shire's population, effective planning is needed to allow the community equitable access to a range of recreation, education and health services and facilities.

Council seeks to:

- Facilitate a range of services and facilities including recreation, education and health services that meet the needs of the community.

Drainage and waste management

The location and management of waste disposal facilities as well as the provision of reticulated water and sewerage services and stormwater drainage improvements are necessary to minimise impacts on the environment and accommodate future population growth.

Council seeks to:

- Facilitate the provision of efficient and effective wastewater management systems to all towns within the Shire.
- Support the implementation of stormwater drainage that minimise impacts on the environment.
- Locate, design and manage waste disposal facilities to minimise amenity impacts.

Telecommunications infrastructure

The Federal Government has undertaken to provide broadband telecommunication access to 90 per cent of the Australian population through the installation of optical fibre cables and a mix of other technologies. Optical fibre in particular provides increased data carrying capacity and will allow for faster access to multimedia services, larger data files and new telecommunication tools.

Providing underground conduit infrastructure for optical fibre cables in new subdivisions before the completion of development is efficient and cost effective.

Council seeks to:

- Facilitate the provision of underground conduit infrastructure ready to meet the needs of communities.

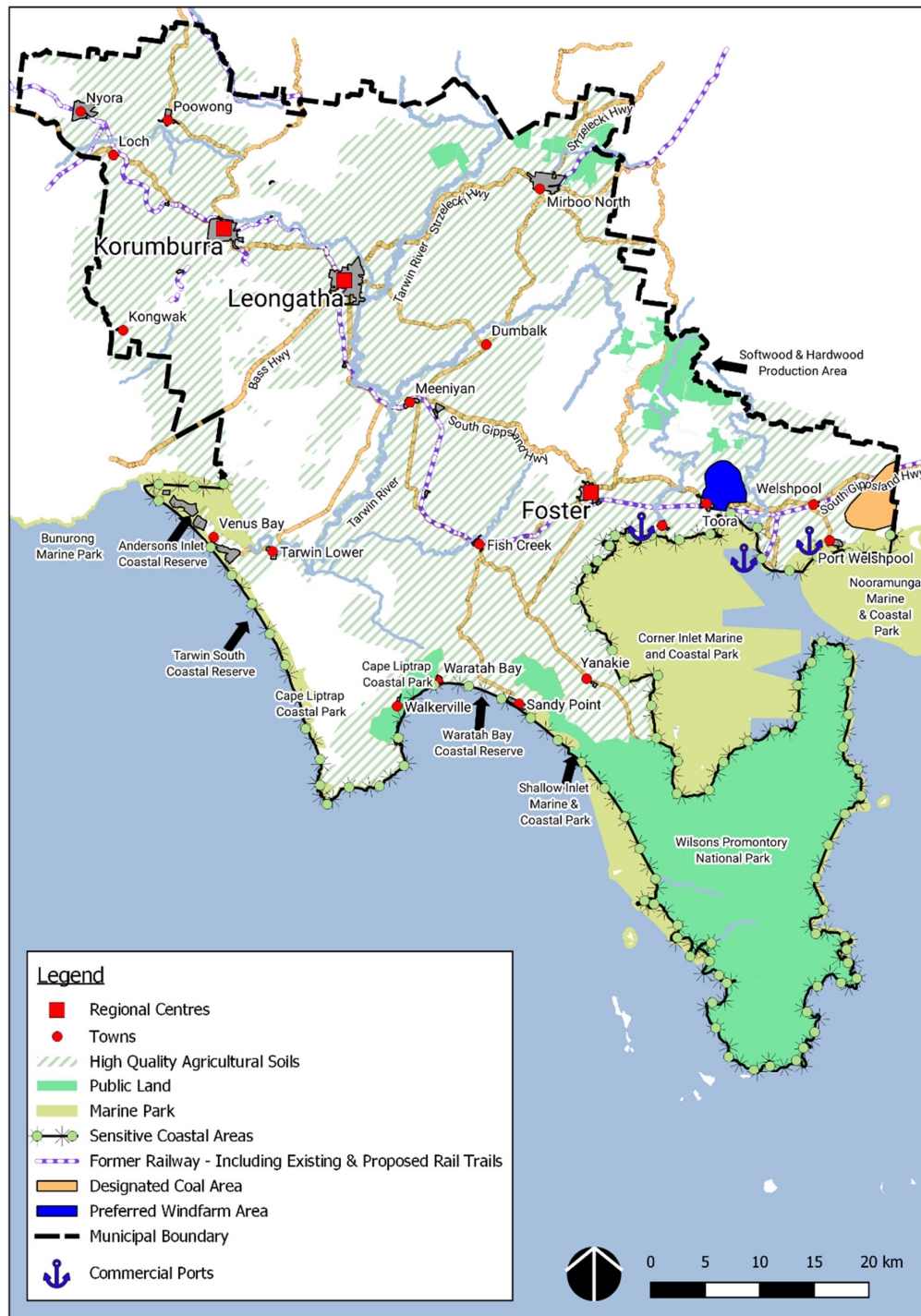
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02.04 STRATEGIC FRAMEWORK PLANS

C127sgjp 03/03/2022

The plans contained in Clause 02.04 are to be read in conjunction with the strategic directions in Clause 02.03.

South Gippsland Shire Council framework plan



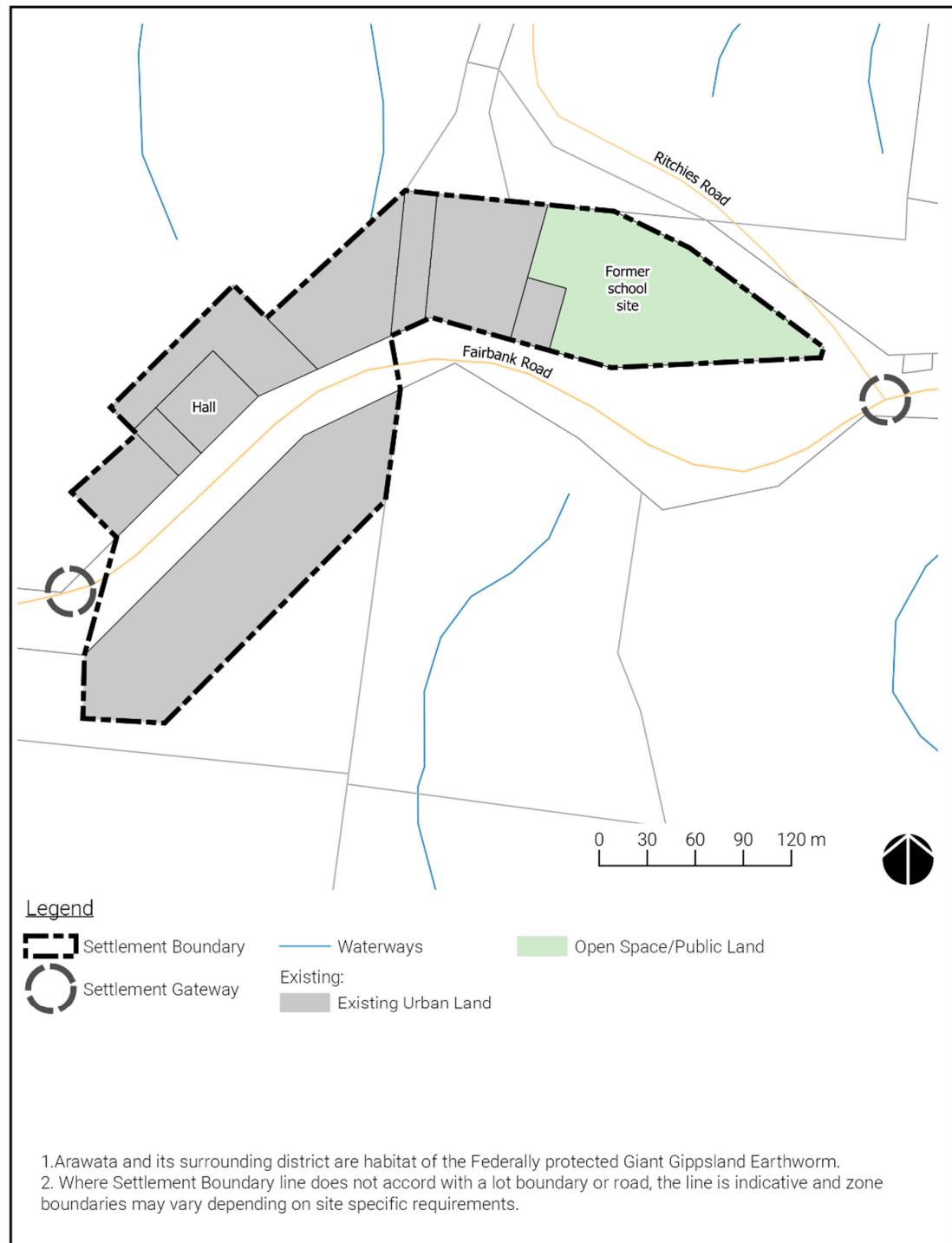
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~~Agnes framework plan~~ [moved to 11.01-11-10 Localities] [more appropriate as settlement-specific plan]



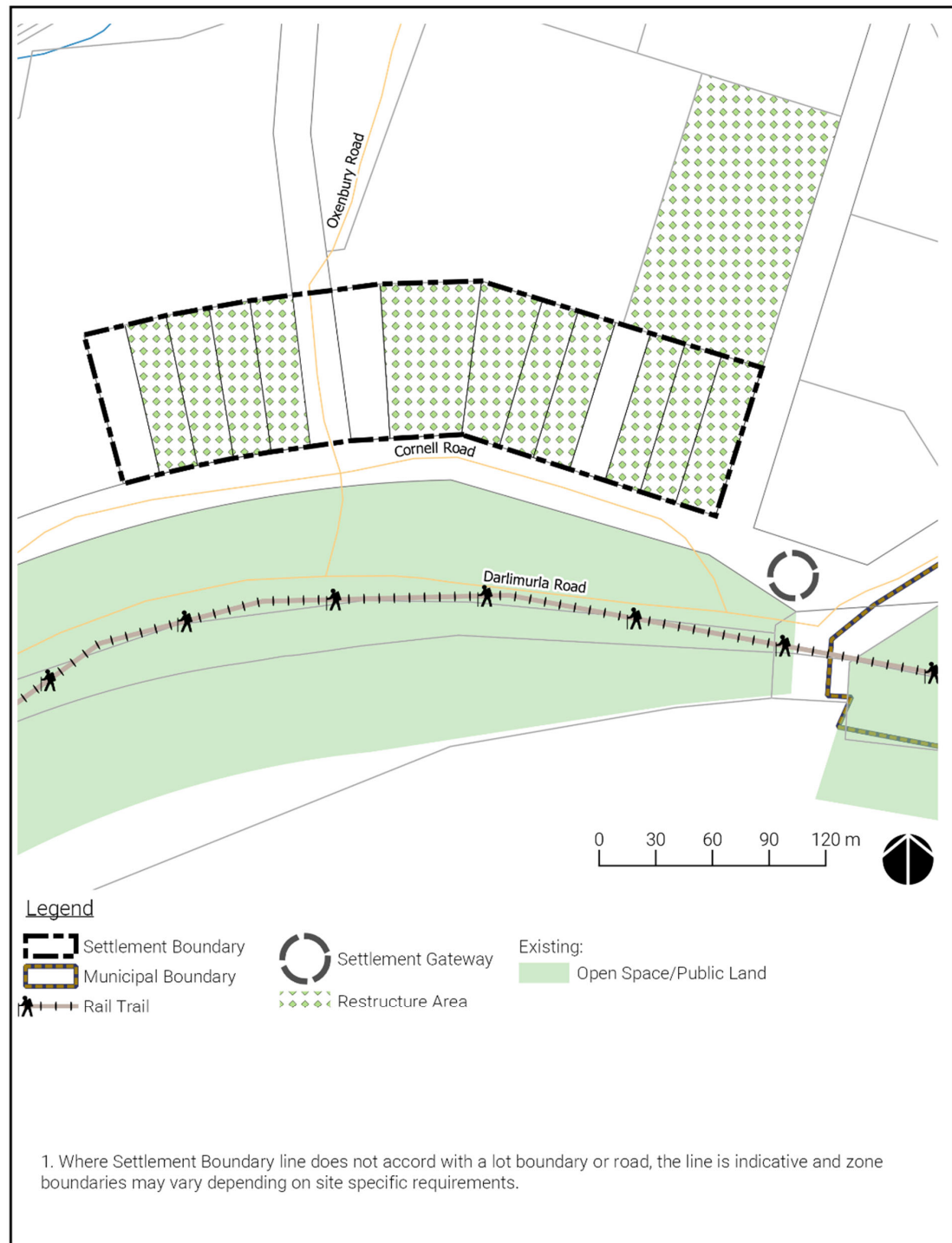
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Arawata framework plan [moved to 11.01-11.10 Localities] [more appropriate as settlement-specific plan]



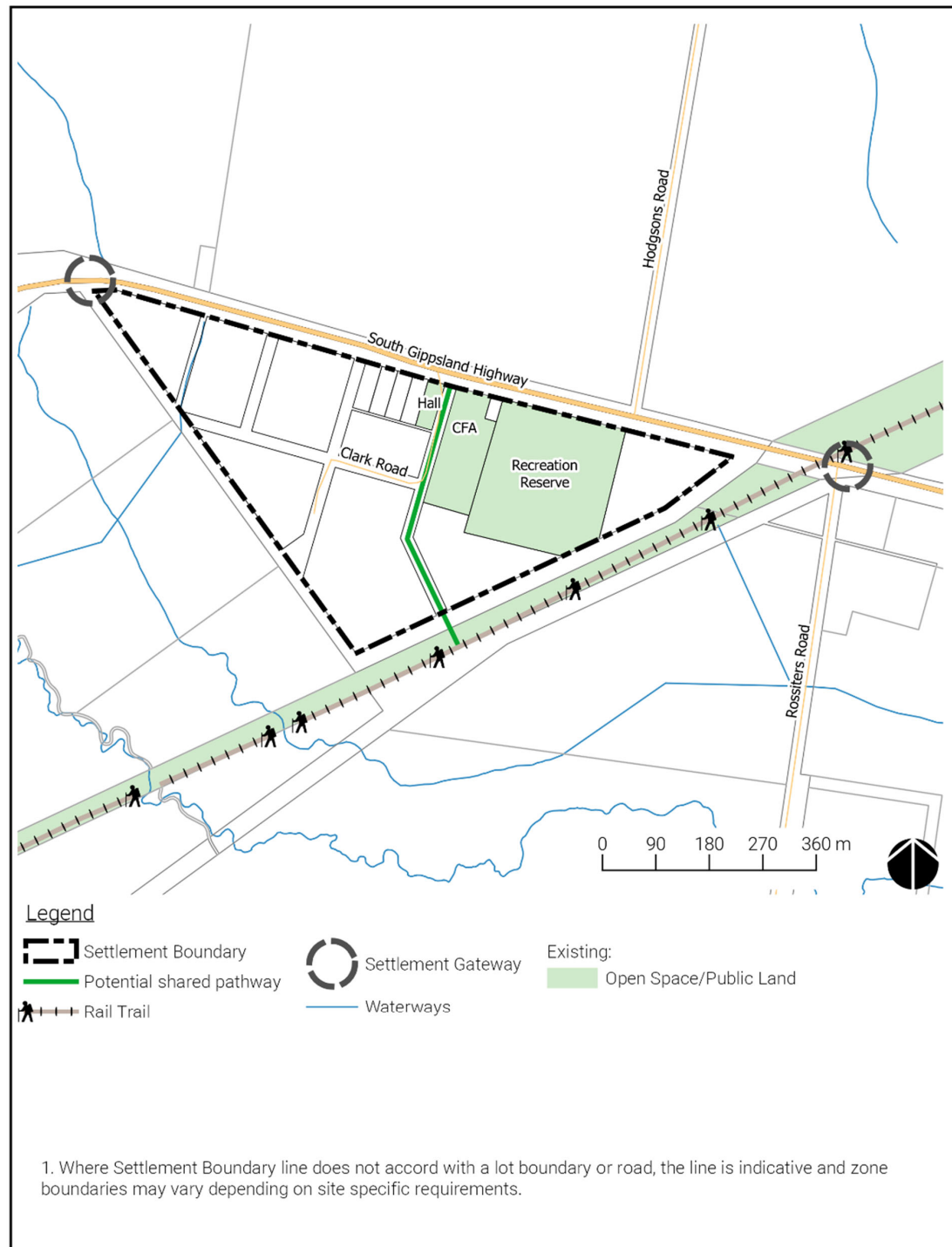
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Darlimurla framework plan [moved to 11.01-1L-10 Localities] [more appropriate as settlement-specific plan]



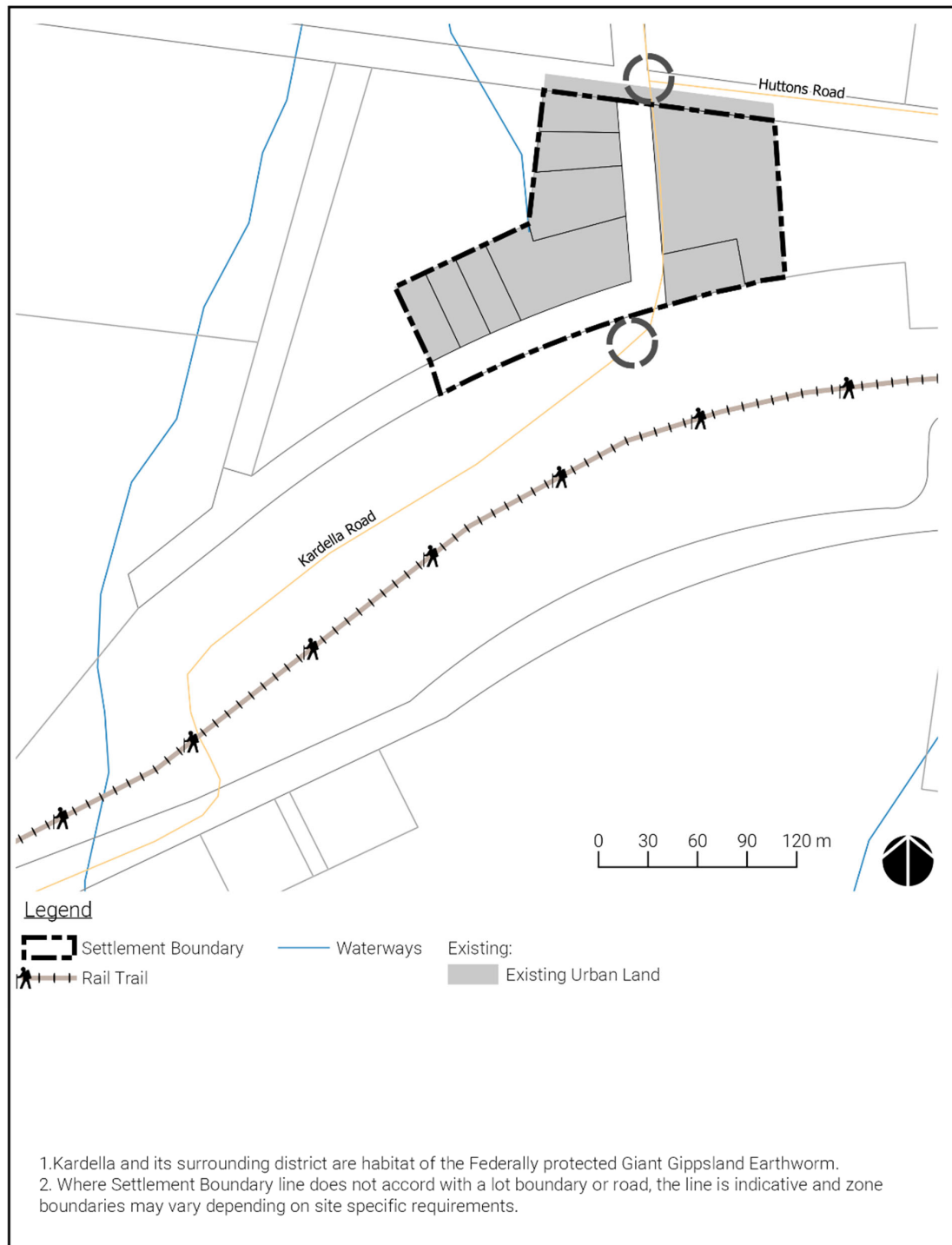
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~~Hedley framework plan~~ [moved to 11.01-11-10 Localities] [more appropriate as settlement-specific plan]



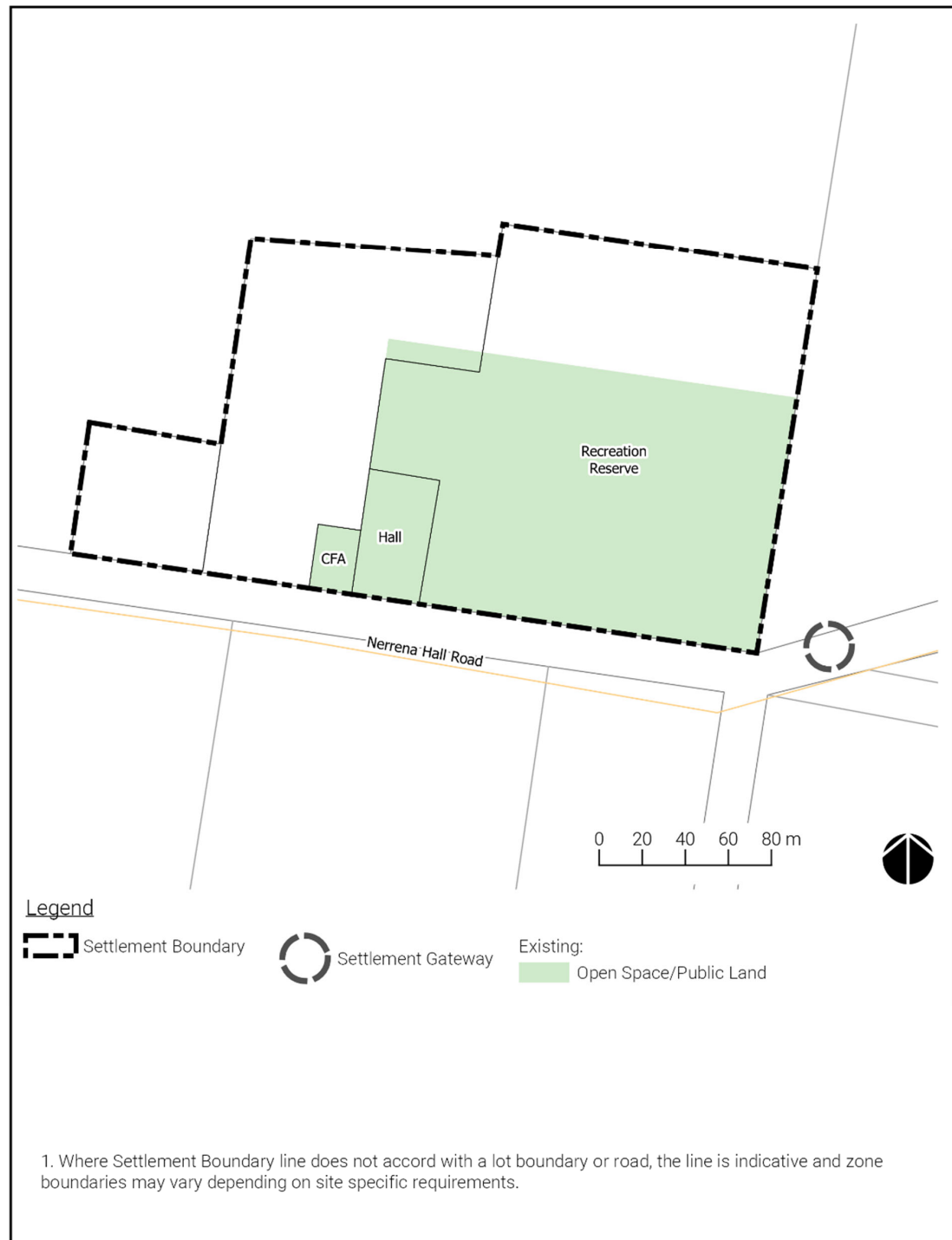
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~~Kardella framework plan~~ [moved to 11.01-11.10 Localities] [more appropriate as settlement-specific plan]



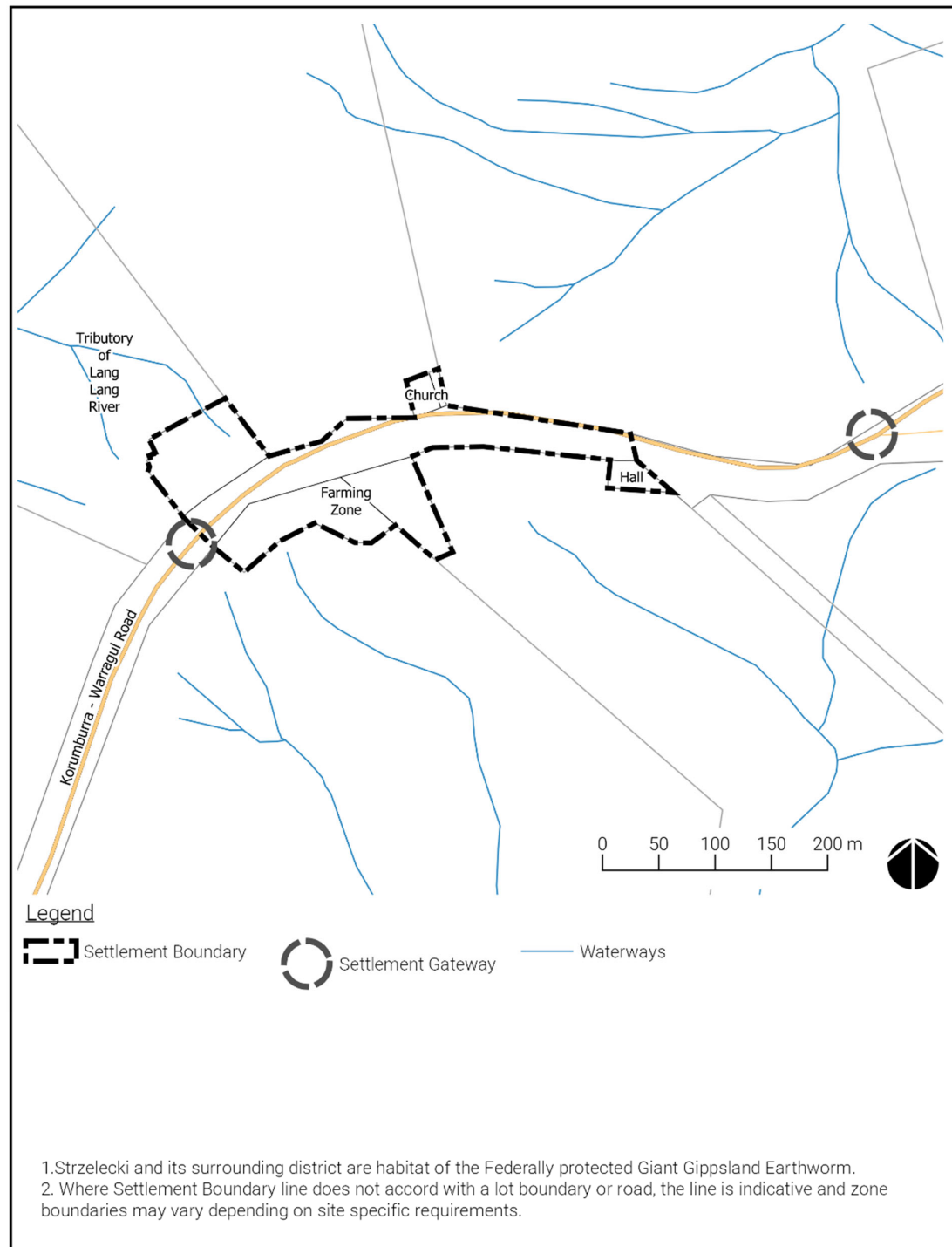
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~~Norrone framework plan~~ [moved to 11.01-1L-10 Localities] [more appropriate as settlement-specific plan]



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Strzelecki framework plan [moved to 11.01-11-10 Localities] [more appropriate as settlement-specific plan]



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11.01-1L-01 SETTLEMENT

C127sgip 03/03/2022

Strategies

~~Encourage consolidated residential development adjacent to central activity districts of settlements to achieve a more efficient use of urban infrastructure, community facilities and transport services. [Duplicates 11.01.1S]~~

~~Restructure old and inappropriate subdivisions to:~~

- ~~• Create a more sustainable density of development.~~
- ~~• Limit new dwellings on vacant lots.~~
- ~~• Consolidate lots not suitable for the development of dwellings.~~
- ~~• Preserve the rural landscape. [moved to 15.01-3L] [More appropriate as a subdivision strategy]~~

~~Discourage the development of dwellings on small lots in old Crown township areas except where either:~~

- ~~• The land is zoned Township Zone or Rural Living Zone.~~
- ~~• The development is in accordance with the relevant Restructure Plan in the Schedule to Clause 45.05. [Moved to 16.01-1L] [more appropriate as a housing strategy]~~

11.01-1L-012 LEONGATHA – SOUTH GIPPSLAND

C127sgip 03/03/2022

Policy application

This policy applies to the land identified on the Leongatha framework plan and the Leongatha Town Centre framework plan [that forms part of this Clause.](#)

Settlement strategies

Promote higher density residential development and retirement living close to the Town Centre.

Support residential and highway frontage commercial development in the Southern Leongatha Growth Area.

Settlement policy guidelines

Consider as relevant:

- Encouraging the rezoning of areas identified in the Leongatha framework plan to maintain a 15 year residential land supply.
- Locating higher density residential development and retirement living within a 400 metre radius of the existing commercially zoned land in the Town Centre.
- Encouraging the preparation of development plans for new residential estates that:
 - Establish integration with existing residential areas and infrastructure.
 - Provide pedestrian and cyclist connectivity to the Town Centre and key community features.
 - Protect the environmental values of the land.

Economic strategies

Discourage the development of retail uses outside of the Town Centre where such uses may detract from the principal role of the Town Centre.

Maintain a compact Town Centre that reduces the need for car usage, with all key features and major retail activities within comfortable walking distance of the intersection of Bair Street and McCartin Street.

Ensure that adequate land is available to accommodate new retail, social, community, commercial and entertainment facilities within the Town Centre.

Provide adequate areas of commercial and industrial land in suitable locations with good access to infrastructure.

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Promote the establishment of a bulky goods retail precinct on the western side of the South Gippsland Highway, and commercial use precinct for uses not appropriate to a Town Centre location on the eastern side of the Highway, at the southern entry to the township.

Focus industrial development within existing industrial areas, encouraging the development of vacant or underutilised land.

Promote the expansion of industrial uses into the land north and west of the golf course recreation reserve while integrating the potential for heavy vehicle connectivity to the South Gippsland Highway.

Infrastructure strategies

Provide strong pedestrian and cycling connectivity to the Town Centre and community assets including schools and sport and recreation facilities.

Locate and design new development and road traffic improvements so they do not compromise the longer-term potential return of rail services to Melbourne.

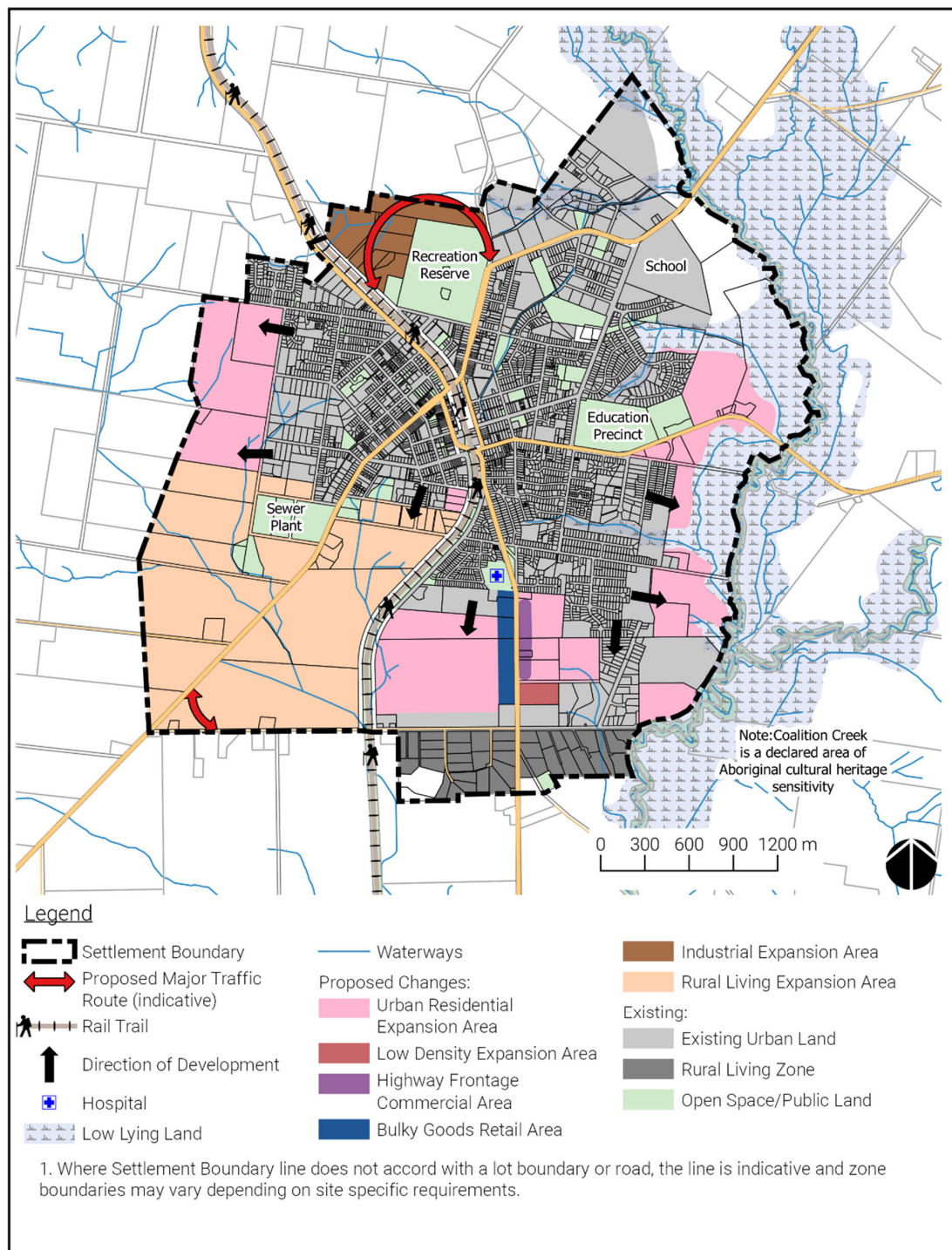
Policy document

Consider as relevant:

- *Leongatha Structure Plan* (South Gippsland Shire Council, 2008)

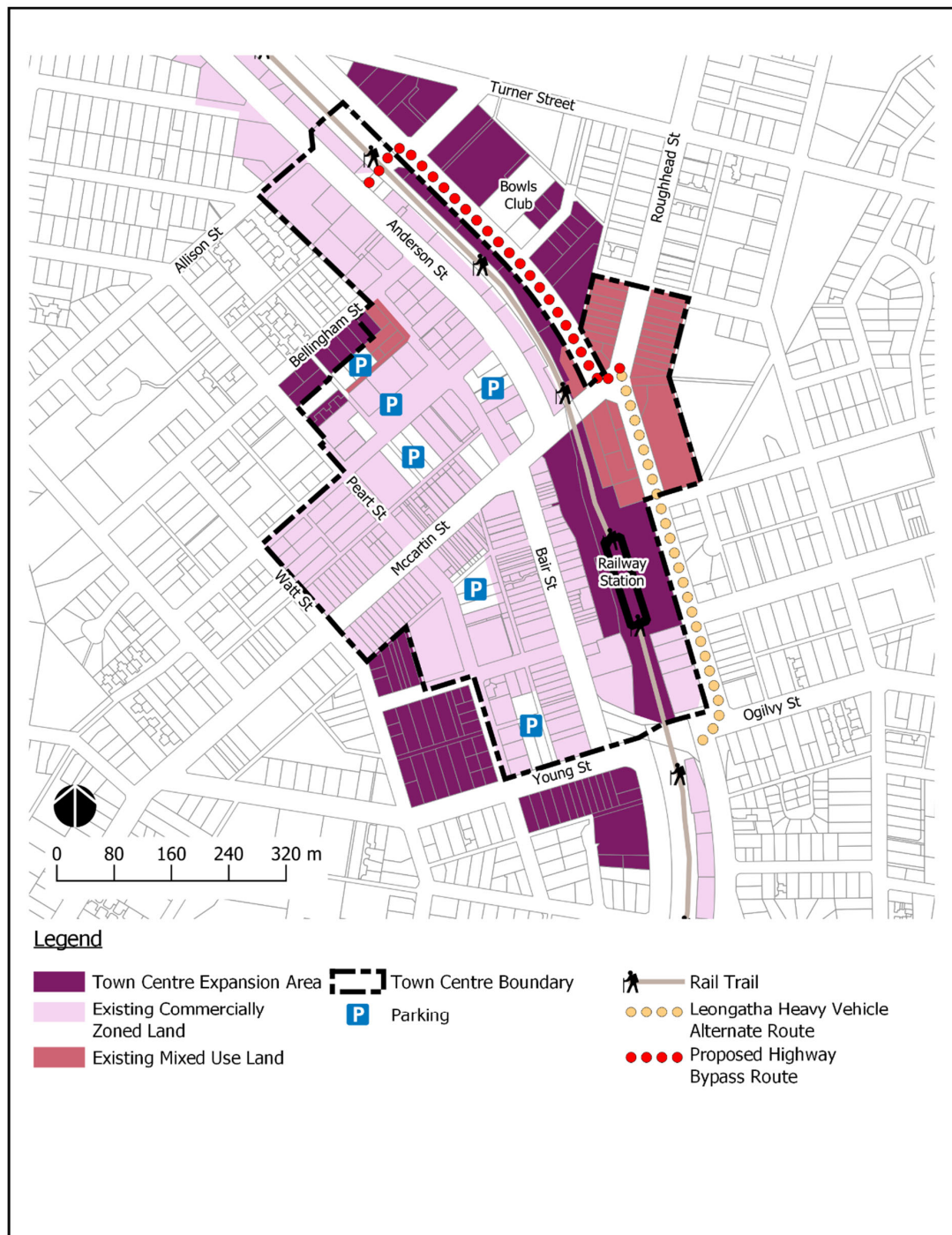
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Leongatha framework plan



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Leongatha Town Centre framework plan



11.01-1L-023 SOUTHERN LEONGATHA GROWTH AREA – SOUTH GIPPSLAND

C127sgjp 03/03/2022

Policy application

This policy applies to the land identified on the Leongatha framework plan [that forms part of this Clause at Clause 11.01-1L-01 Leongatha](#).

Bulky goods retail area strategies

Direct large floor-plate developments/uses defined as Restricted retail premises to the Bulky Goods Area.

Discourage commercial or community uses that may weaken the primacy of the Town Centre.

Discourage uses, such as industrial uses, that may detrimentally affect the amenity of surrounding sensitive land uses.

Bulky goods retail area policy guidelines

Consider as relevant:

- Discouraging the following uses:
 - Accommodation (except Hotel and Motel).
 - Food and drink premises.
 - Office.
 - Place of assembly (excluding Conference/Function centre and Place of worship).
 - Retail premises (excluding Restricted retail premises).
 - Warehouse.

Highway frontage commercial area strategies

Direct uses that benefit from highway exposure and that are not suited to a Town Centre location to the highway frontage commercial area.

Discourage uses, such as industrial uses, that may detrimentally affect the amenity of surrounding sensitive land uses.

Highway frontage commercial area policy guidelines

Consider as relevant:

- Encouraging the following uses in the highway frontage commercial area:
 - Car wash.
 - Conference/Function centre.
 - Emergency services facility.
 - Hotel.
 - Landscape gardening supplies.
 - Motel.
 - Motor vehicle boat or caravan sales.
 - Place of worship.
 - Service station.
 - Trade supplies
 - Veterinary centre.
- Discouraging the following uses in the highway frontage commercial area:
 - Accommodation (excepting Hotel and Motel).
 - Food and drink premises.
 - Office.
 - Place of assembly (excluding Conference/Function centre and Place of worship).
 - Retail premises (excluding Restricted retail premises).
 - Warehouse.

- Commercial or community uses that may weaken the primacy of the Town Centre.

Urban expansion areas strategies

Promote the subdivision of land to maximise the efficient use of land across a range of lot sizes.

Promote the staged and sequential rezoning and subdivision of General Residential Zoned land that integrates with the existing road network and infrastructure to the north, and avoids the creation of development that is isolated or has poor connectivity to the north.

Avoid the creation of residential lots in the Coalition Creek flood plain, except where the potential exists for dwellings to be located within lots above the flood level and associated access to and within the lot is above the flood level.

Minimise the number of residential lots with boundaries adjoining the highway frontage commercial uses.

Encourage the creation of wide, landscaped road reserves that create a residential sense of place in residential areas accessed through commercial areas.

Landscape and built form strategies

Minimise the number of highway entry points through subdivision, building layout and access design that avoids the requirement to create new highway access points.

Design development at the town entry point to include:

- Consistent building setback lines.
- Building layout that considers the long term potential for widening of the highway.
- Ample onsite car parking, without visually dominating front setbacks.
- Building siting and design that makes efficient use of land, including minimising unused areas of land (not including landscaping) to the side and rear of development.

Encourage lots adjoining commercial areas to be of sufficient size and depth to accommodate landscaping to screen and soften the potential visual and amenity impact.

Landscape and built form policy guideline

Consider as relevant:

- Limiting building height at the town entry point to a maximum of 10 metres above ground level.

Infrastructure strategies

Locate and design new highway intersection treatments to facilitate development on both sides of the highway.

Create an internal road network that allows for the future requirements of adjoining undeveloped land and the potential for cumulative increased usage over time.

Upgrade road and pathway infrastructure in established areas where necessary to manage additional use.

Avoid locating roads in flood prone areas of the Coalition Creek flood plain.

Create a shared pathway network around the boundaries of the Growth Area and along both sides of the highway.

Avoid the duplication of drainage assets or reliance on overland flows outside of drainage easements and declared waterways.

Encourage the provision of reticulated sewerage assets that allow for the development requirements of surrounding land and avoid asset duplication and the need for incremental asset upgrading.

Create an open space reserve on the flatter sections of the residential area west of the highway.

Provide or reserve a land parcel west of the highway for future community development infrastructure.

Provide continuous linear open space connectivity between the eastern end of Parkside Close and the wetland area adjoining the Boags Road / Tarwin Ridge Boulevard.

Encourage provision of a local park adjoining Coalition Creek.

Infrastructure policy guidelines

Consider as relevant:

- The open space reserve west of the highway to have an area of approximately four hectares.
- The reserved land parcel west of the highway for future community development infrastructure to have a minimum area of one hectare.

11.01-1L-034 KORUMBURRA – SOUTH GIPPSLAND

C127sgip 03/03/2022

Policy application

This policy applies to land within the settlement boundary as set out on the Korumburra framework plan [that forms part of this Clause](#).

Settlement strategies

~~Monitor-Manage~~ [\[To commence with PG approved verb\]](#) the availability and development of residential land and encourage the rezoning of areas identified in the Korumburra framework plan to maintain an estimated 15 year residential land supply.

Promote the development of residential estates that integrate with existing residential areas and infrastructure; provide pedestrian and cyclist connectivity to the Town Centre and key community features; and protect the environmental values of the land, especially the waterways.

Promote higher density residential development and retirement living on land within the inner township residential areas with convenient pedestrian access to the Town Centre.

Focus industrial development within the established industrial areas, and at the site of the former Korumburra Saleyards.

Ensure that development of the former saleyards land responds to the amenity interface with the adjoining showgrounds and residential areas.

Discourage the establishment of sensitive land uses close to the ‘manufacture of milk products’ operations in the Station Street Industrial Area that may preclude the manufacturing operations.

Economic strategies

Support Korumburra’s role as a retail and service centre with civic and community functions for its population and nearby small communities.

Discourage retail uses outside of the Korumburra Town Centre Retail Core where such uses may detract from the principal role of the Korumburra Town Centre.

Support tourism developments that promote Korumburra as a tourist destination and plan for the provision of services and features that support highway tourism traffic.

Landscape and built form strategies

Promote site responsive residential subdivision design with a mix of lot sizes and configurations that minimise the impact of earthworks.

Conserve the town’s heritage places and streetscapes in recognition of their central role in establishing Korumburra’s rural township character and sense of place.

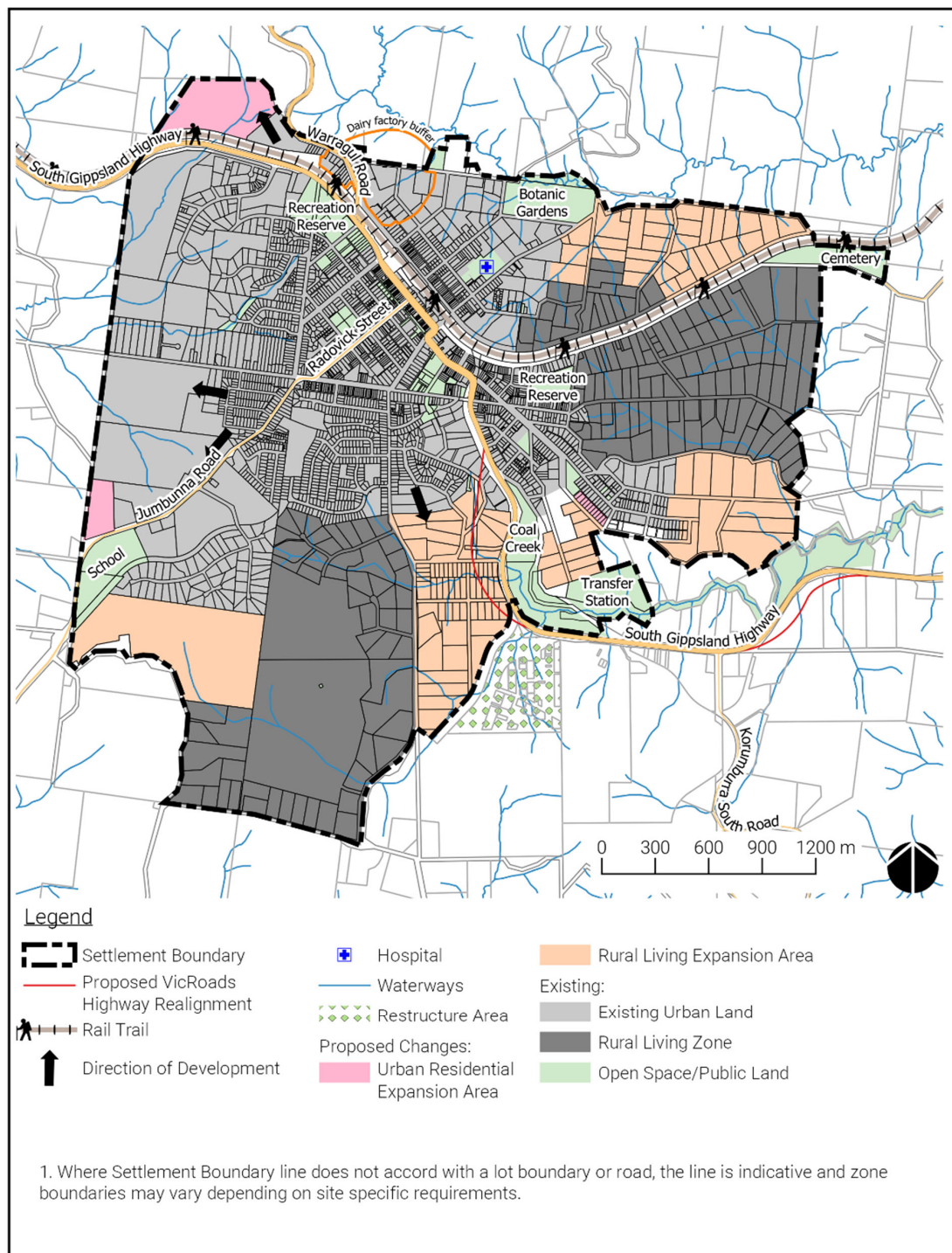
Infrastructure strategies

Provide direct and convenient pedestrian and cycling connectivity to the Korumburra Town Centre, key community assets and the schools.

Locate development and road traffic improvements so they do not compromise the longer-term potential return of rail services to Melbourne.

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Korumburra framework plan



11.01-1L-045 KORUMBURRA TOWN CENTRE – SOUTH GIPPSLAND

C125sgjp 08/09/2022

Policy application

This policy applies to land within the Town Centre Boundary on the Korumburra Town Centre framework plan [that forms part of this Clause](#).

Settlement strategies

Encourage the long term development of under-used and vacant land identified in the Korumburra Town Centre framework plan as 'Preferred Commercial Redevelopment Sites'.

Economic strategies

Encourage major retail, office and community developments to concentrate in the Korumburra Town Centre Retail Core.

Focus active retail uses on the Korumburra Town Centre's 'main streets', being Commercial Street, Radovick Street and Bridge Street.

Encourage the consolidation of sites in the Korumburra Town Centre Retail Core to accommodate new, large floor space developments.

Support the development of a major retail use such as an additional supermarket on either of the preferred development sites nominated on the Korumburra Town Centre framework plan.

Promote tourism, community and other associated uses and activities at the Korumburra Railway Station Precinct to improve diversity of activities on either side of Commercial Street.

Encourage transition from light industrial to commercial, retail and tourism uses in the Korumburra Town Centre Retail Core.

Landscape and built form strategies

Design development within the Town Centre to respect the existing built form character including by:

- Improving and formalising pedestrian connections, particularly between Little Commercial Street and Commercial Street and mid-block pedestrian connections between Little Commercial Street parking areas and Commercial Street.
- Improving the layout and operation of car parking, pedestrian, cycling and mobility scooter facilities.
- Locating and designing signs to respect the sensitivity of heritage places, strategic views and the town's future desired character as identified in the Korumburra Town Centre framework plan.

Encourage the redevelopment of the existing library site and adjoining sites (south east corner of Commercial and King Streets) for a major retail use such as an additional supermarket, while respecting the town character by:

- Providing a skin of fine-grain speciality retail shops and active pedestrian interfaces to Commercial Street.
- Providing a distinctive and attractively designed landmark statement building and landscape treatments in recognition of the site's gateway entrance into the Korumburra Town Centre.
- Articulating, screening or treating any blank walls.
- Including co-located community facilities and services, such as a library, meeting spaces and public toilets.

Design infill development to provide active interfaces to the street through maximising windows and entry points.

Support redevelopment of the site on the north-west corner of Bridge and Commercial Streets to a retail use and form that is reflective of its main street corner address and consistent with the town's character.

Encourage development of two-storey built form on the potential future development sites on the north-east side of Commercial Street, to address the significant change in ground level to allow pedestrian access between the Korumburra Railway Station Precinct and the Korumburra Town Centre.

Maintain views from key vantage points identified as significant outlooks in the Korumburra Town Centre framework plan by:

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- Maintaining a modest two storey traditional built form scale with appropriate roof form designs to ensure the maintenance of distant views to landscape.
- Framing views to attractive features such as the rolling hills beyond the town, providing a visual link to surrounding rural land.
- Retaining and enhancing existing streetscape vegetation.

Maintain and extend streetscape plantings in the Korumburra Town Centre and surrounding area to enhance the town's existing 'boulevard' character.

Encourage the provision of additional public open space in the Korumburra Town Centre, with spaces ranging in size from pocket parks to plazas suitable for accommodating festivals and community events.

Infrastructure strategies

Encourage development to contribute to streetscape amenity and pedestrian safety throughout the Korumburra Town Centre including through providing outlook to public open spaces and defining pedestrian access areas, particularly in Commercial and Little Commercial Streets.

Design development to support the reconfiguration of Little Commercial Street as a pedestrian, cyclist and mobility-scooter friendly space, which provides safe and convenient linkages to existing and new community and retail facilities.

Facilitate the upgrade of the pedestrian railway underpass and connections between Commercial Street and Station Street.

Infrastructure policy guideline

Consider as relevant:

- Reducing or waiving the car parking requirement to encourage commercial outcomes, heritage retention, alternative transport use and active frontages.

Korumburra Community Hub strategies

Direct co-located community services within the Town Centre to the preferred Korumburra Community Hub site.

Design the Korumburra Community Hub to:

- Provide active uses on the ground floor at public interfaces.
- Incorporate links to pedestrian connections between Commercial Street and Little Commercial Street.
- Provide a generous public open space / landscape area along the Little Commercial Street frontage.
- Maintain active through-access to Victoria Street and Boston Place to maximise site frontage and accessibility.

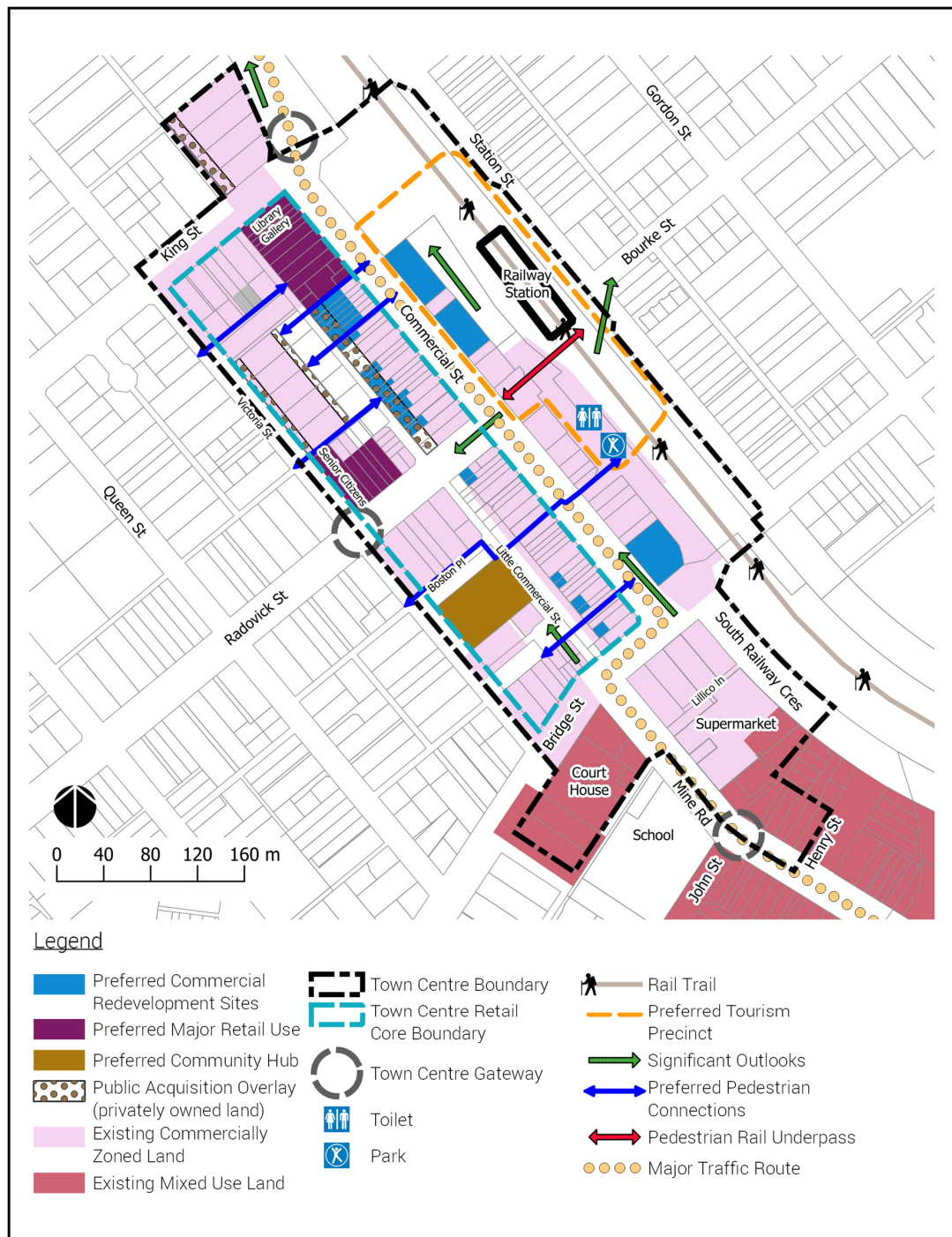
Policy document

Consider as relevant:

- *Korumburra Town Centre Car Parking Strategy* (GTA Consultants, 2013)

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Korumburra Town Centre strategic framework plan



11.01-1L-05 NYORA – SOUTH GIPPSLAND**Policy application**

This policy applies to land within the settlement boundaries and shown as Rural Living Zone expansion area on the Nyora framework plan that forms part of this Clause.

General strategies

Discourage any subdivision in the Urban Residential Expansion Areas or Long Term Urban Expansion Areas identified in the Nyora framework plan unless:

- Reticulated sewerage can be provided to the land.
- There is an identified need for additional residential land within the township.
- A comprehensive assessment, feasibility study and costing has been done of required development infrastructure (roads, drainage, etc.) and community infrastructure.
- A Development Contributions Plan Overlay (or similar infrastructure cost recovery method), has been applied to provide equitable financial contribution towards, or the provision of, development and community infrastructure upgrades required to support new urban residential development.
- A Development Plan Overlay and Development Plan has been prepared that provides for the integrated development of the entire land having regard to environmental and landscape constraints and opportunities and the town's existing and preferred rural township character.

Economic strategies

Encourage new light industrial activities to locate within the designated industrial area in Watts Road.
Consolidate and develop the Town Centre in the vicinity of Mitchell and Davis Streets as the focus for all business, community and tourist services and facilities.

Discourage residential land use and development, including subdivision, on commercial land apart from minor alterations to existing residential development that do not compromise commercial development in the Town Centre.

Provide for the expansion of the retail, commercial and community activities in the Town Centre that support a growing population and encourage activity at the ground level of buildings.

Ensure subdivision proposals in the Town Centre are only approved in conjunction with an approved planning permit for building development on the land.

Promote the use and development of a supermarket at land in the Town Centre, preferably at the location shown on the Nyora framework plan, to service Nyora and surrounding area as the population grows.

Landscape and built form strategies

Protect the natural environmental qualities and landscape values of the Future Residential Areas and the Long Term Residential Areas identified in the Nyora framework plan.

Ensure vegetation continues as the dominant landscape feature.

Infrastructure strategies

Create an integrated network of pedestrian and bicycle paths linking features and facilities in and around the township in accordance with the directions of Council's Paths and Trails Strategy 2010 (or as amended) and Melbourne Water's *Shared Pathway Guidelines* (January 2009) as amended.

Promote residential development that integrates roads, pathways and utility infrastructure with adjoining areas, particularly on land bounded by Hewson St, Davis [Council-identified anomaly] St, Walters St and Lang Lang Poowong Road.

Town Centre strategies

Encourage built form in the Nyora Town Centre to:

- Have minimal or no front setbacks in order to reinforce this area as the commercial centre and distinguish it from the surrounding residential areas.
- Provide a sense of human scale and appear low rise.

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- Include the development of footpaths, shared paths, continuous weather protection, active frontages and articulated facades along pedestrian connections.
- Provide for physical and visual linkages to and from the surrounding residential areas and the railway reserve.
- Be softened by landscaping (e.g. views of tree tops behind buildings, planting in small front setbacks).

Encourage fences to be low and open in style to provide for views beyond fencing, specifically for passive surveillance.

Reinforce Mitchell Street's role as the "main street" by encouraging development along to be:

- Built to the front boundaries with weather protection.
- Closely spaced with narrow frontages.

Encourage signs to be:

- Modest in size, scale and boldness (colour and lighting).
- Proportional to the individual business premises (building size, business type, and floor area).
- Integrate with the building.
- Located on building frontages and verandahs, avoiding protrusions above verandahs, roof lines or parapets.

Limit directional signage to supermarket uses.

Discourage brightly illuminated signs, Major promotion signs, Reflective signs, Panel signs, High-wall signs and Sky signs.

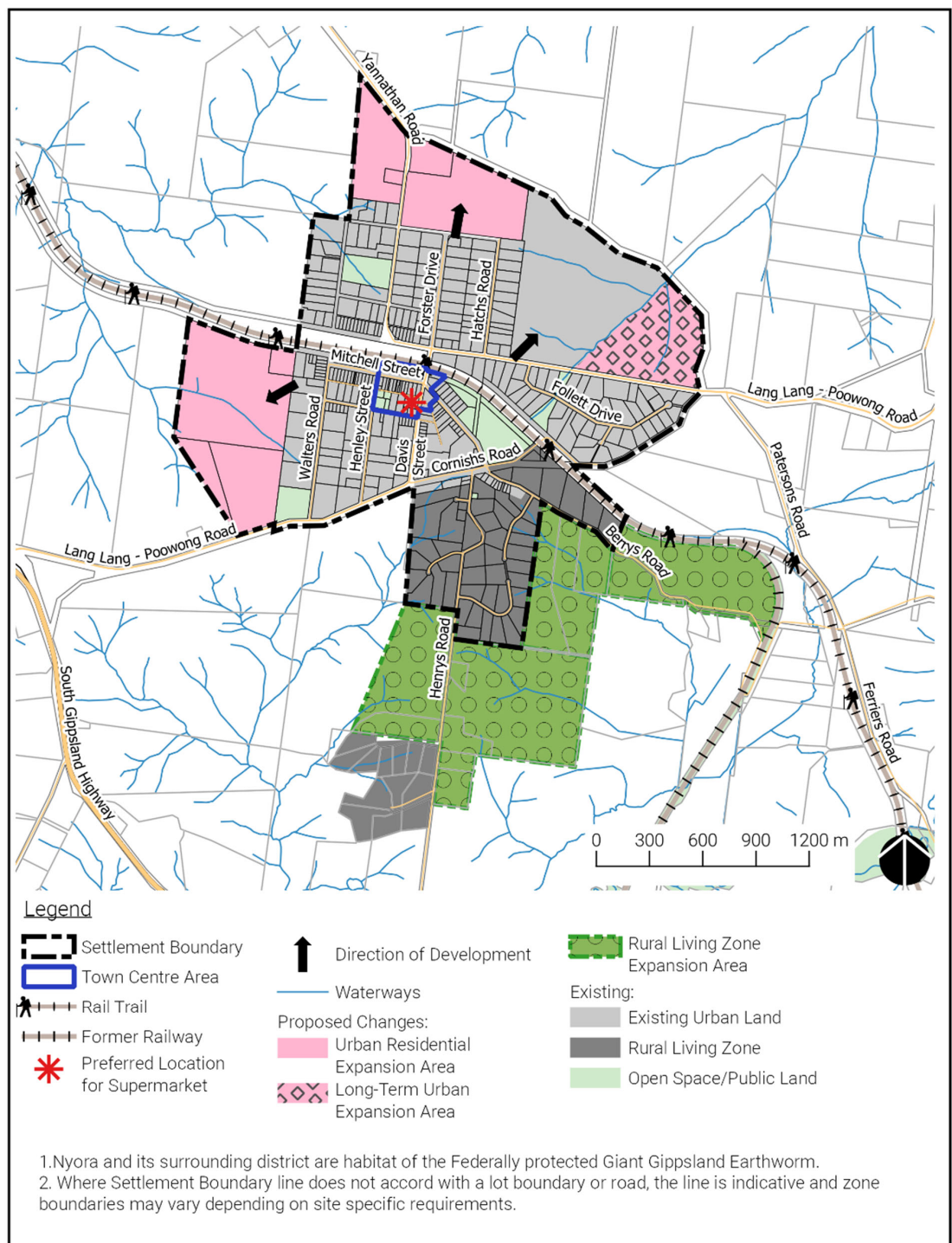
Town Centre policy guideline

Consider as relevant:

- Constructing fences using building materials that reference country styles, such as timber, masonry or corrugated iron.

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Nyora framework plan



11.01-1L-06 DISTRICT TOWNS – FOSTER AND MIRBOO NORTH – SOUTH GIPPSLAND

C127sgjp 03/03/2022

Policy application

This policy applies to land within the settlement boundaries on the Foster framework plan and the Mirboo North framework plan that form part of this Clause. [To identify the area and group of discretions to which the policy applies, in accordance with PG]

General strategies

~~Contain~~ Limit growth ~~to~~ within the settlement boundary. [To commence with PG approved verb]

Protect and enhance the compact qualities of the town centre.

Promote medium and higher density residential development and retirement living within a walkable catchment of the town centre.

Promote the staged release of new residential land in a contiguous and integrated manner, providing for a range of densities that decrease with distance from the town centre.

Promote pedestrian and cycle friendly development by providing and linking public open spaces to the town centres including from the nearby rail trails.

General policy guideline

Consider as relevant:

- A walkable catchment as having a 400 metre radius.

Foster strategies

Promote a range of residential options that respects the small town character and landscape values of Foster.

Discourage low density and rural residential development in areas close to the township unless the land has constraints inappropriate to higher density development.

Ensure that subdivision designs respond to the topographic, landscape and environmental constraints of the land.

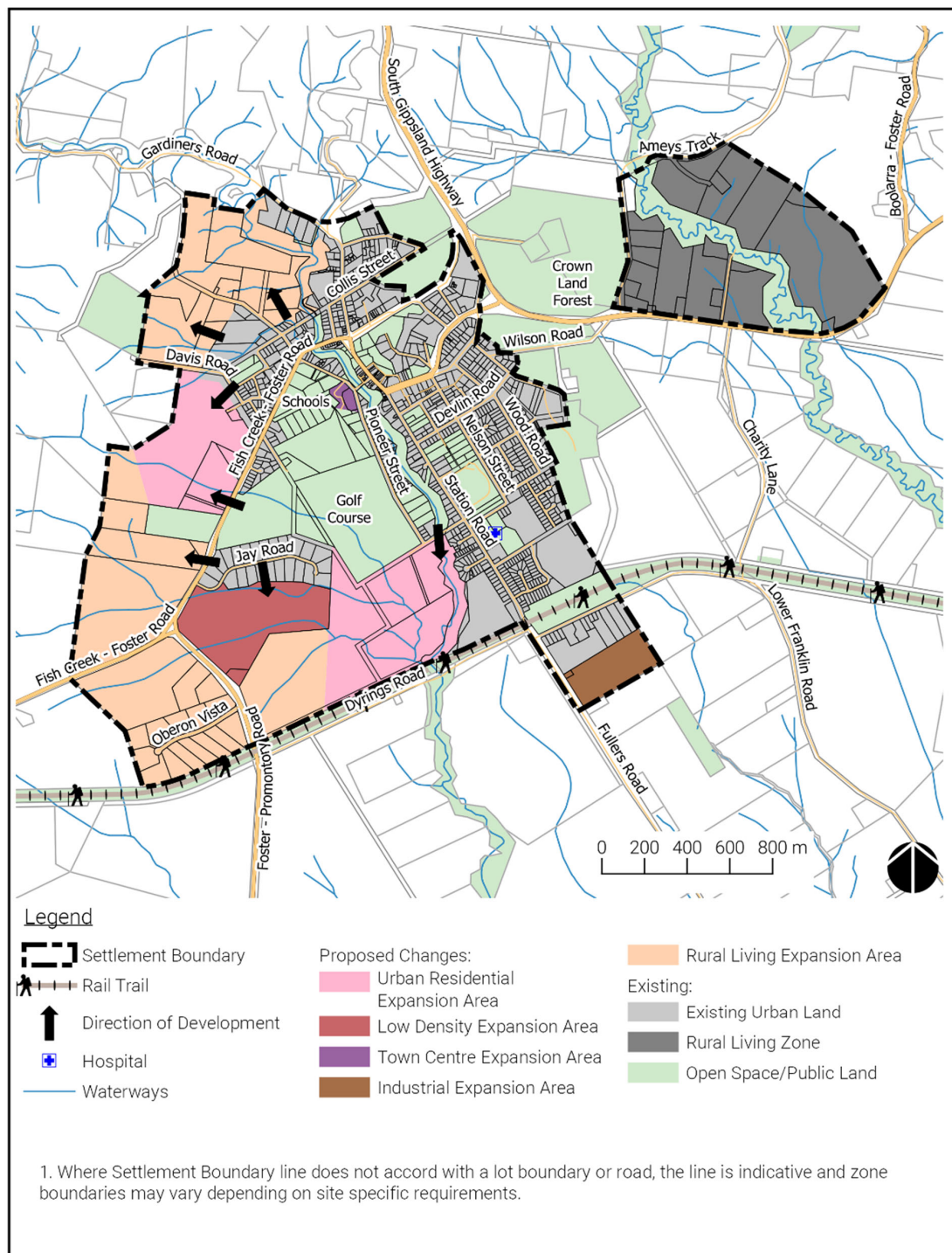
Support the expansion of the town's commercial centre to contiguous land when demand requires.

Discourage the establishment of uses outside of the town centre that may weaken the primacy of the town centre.

Encourage greater tourism promotion and co-ordination within Foster to build upon the town's role as the gateway to Wilsons Promontory.

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Foster framework plan



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Mirboo North strategies

Economic strategies

Retain the main street for retailing and other commercial development.

Discourage shops (except restricted retail) and food and drink premises outside the Commercial 1 Zone.

Discourage land uses other than shops, food and drink premises, offices, place of assembly, community facilities and tourist attractions inside the town centre.

Promote tourism and other economic development that complements the natural environment and landscape values of the region.

Access strategies

Avoid subdivision patterns that create closed courts which discourage connection of roads for active pedestrian use.

Prioritise access improvements connecting key attractions, specifically those used by younger and older people.

Encourage the provision of universal access as part of new development, with paths connecting to existing footpath infrastructure.

Landscape and built form strategies

~~Outside of the town centre,~~ Encourage low rise and detached residential development ~~outside of the town centre;~~ [to commence with PG approved verb] that is generally responsive to the topography and set in established gardens.

Ensure that the landscape and indigenous vegetation are visually dominant over built form by siting buildings away from native vegetation.

Facilitate a high quality pedestrian environment along the main streets (Ridgway, Peters Street, Brennan Street and Grand Ridge East) encouraging:

- Commercial-style, visually engaging frontages.
- Close spacing of built form.
- Construction to the front property boundary.
- Cantilevered weather protection.

Minimise the visual impact of built form on views from and to the surrounding landscape, particularly public viewing areas and corridors, such as main roads.

Retain vegetation along waterways and natural drainage lines.

Open space strategies

Ensure new subdivisions improve pedestrian and cycling linkages to key destinations.

Provide publicly accessible open space within a walkable catchment of residential development.

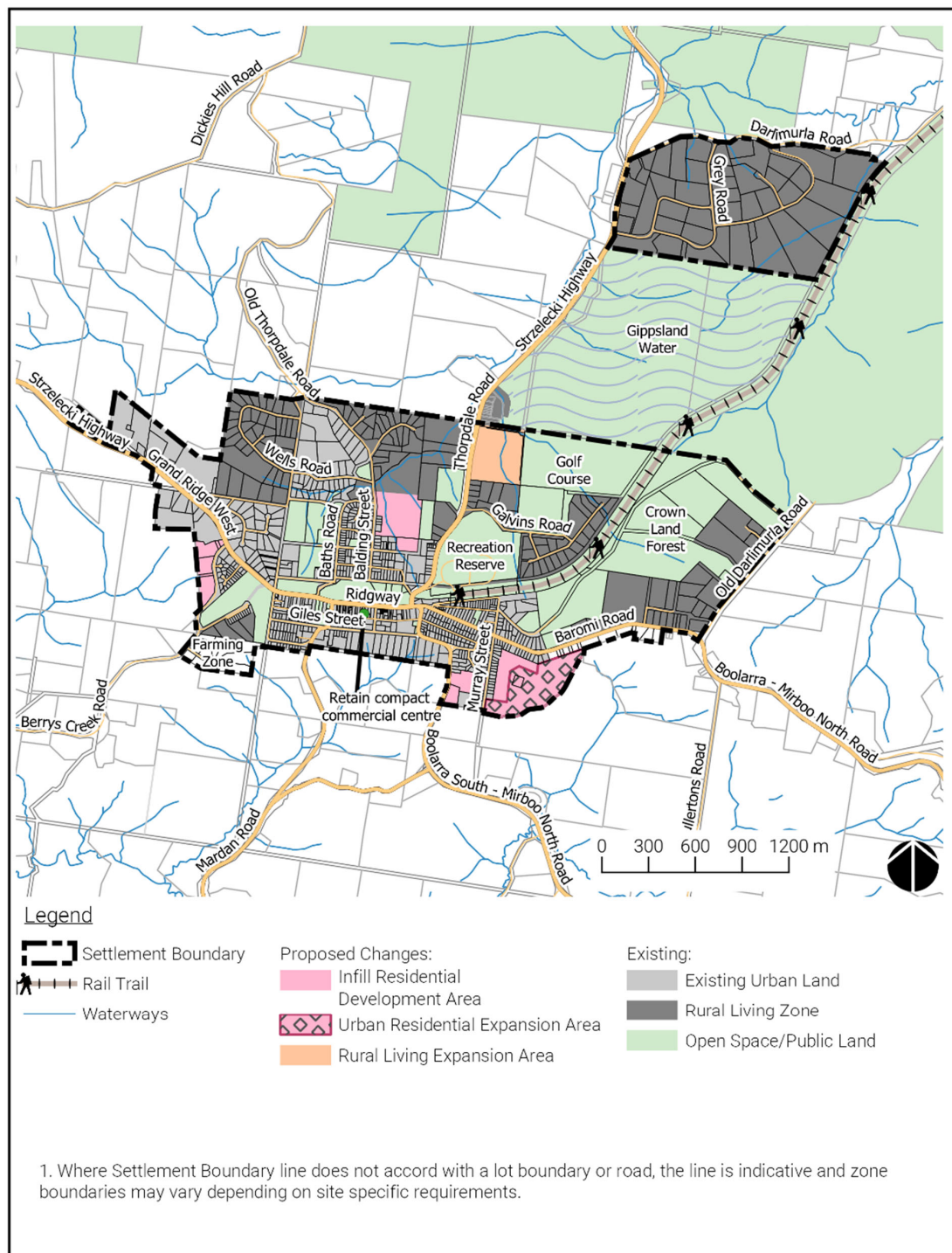
Open space policy guideline

Consider as relevant:

- A walkable catchment as being a 400 metre radius.

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Mirboo North framework plan



11.01-1L-07 SMALL TOWNS - FISH CREEK, LOCH, MEENIYAN, NYORA, POOWONG AND TOORA – SOUTH GIPPSLAND [NYORA NOW STAND ALONE POLICY TO REFLECT IT IS AN EMERGING DISTRICT CENTRE]

C125sgip 08/09/2022

Policy application

This policy applies to the land identified on the Fish Creek, Loch, Meeniyan, Nyora, Poowong and Toora framework plans.

General strategies

Ensure new developments are connected to the reticulated sewerage system where available.

Ensure that new growth and development occurs in coordination with the provision of development infrastructure and that development contributes to provision of community services and facilities.

Focus commercial, retail and community services and facilities within the Town Centre and discourage retail development outside of the Town Centre.

Encourage infill development in residentially zoned land adjoining the Town Centre in a coordinated and integrated manner.

Promote medium density residential development near the Town Centre to support retirement living and household downsizing.

Discourage low density and rural residential development close to the Town Centre, unless the land has constraints that make it inappropriate for higher density development.

Retain and provide public open space reserves to promote pedestrian and cycle friendly development with strong linkages to the Town Centre including from the rail trail.

Create an integrated network of shared pedestrian and bicycle paths linking features and facilities in and around the town.

Promote walking and cycling around the township by providing shared walking and cycling paths between residential areas, the Town Centre and services.

Encourage development that is site-responsive, ecologically sustainable and sympathetically designed so as to protect the characteristics of the natural and built environment and the landscape values of the surrounding area.

Promote residential development that complements the small rural township character of the area.

Establish the Town Centres as pedestrian-orientated and cycle friendly urban centres with links to the rail trail where possible.

Encourage the development of small scale tourism services and accommodation that complement the natural environment, agricultural and landscape values of the region and take advantage of proximity to tourist routes and the Great Southern Rail Trail.

Discourage development in areas susceptible to water logging or inundation.

Fish Creek strategies

Promote medium density residential development near the commercial hub, where wastewater treatment allows, to support retirement living and smaller household opportunities.

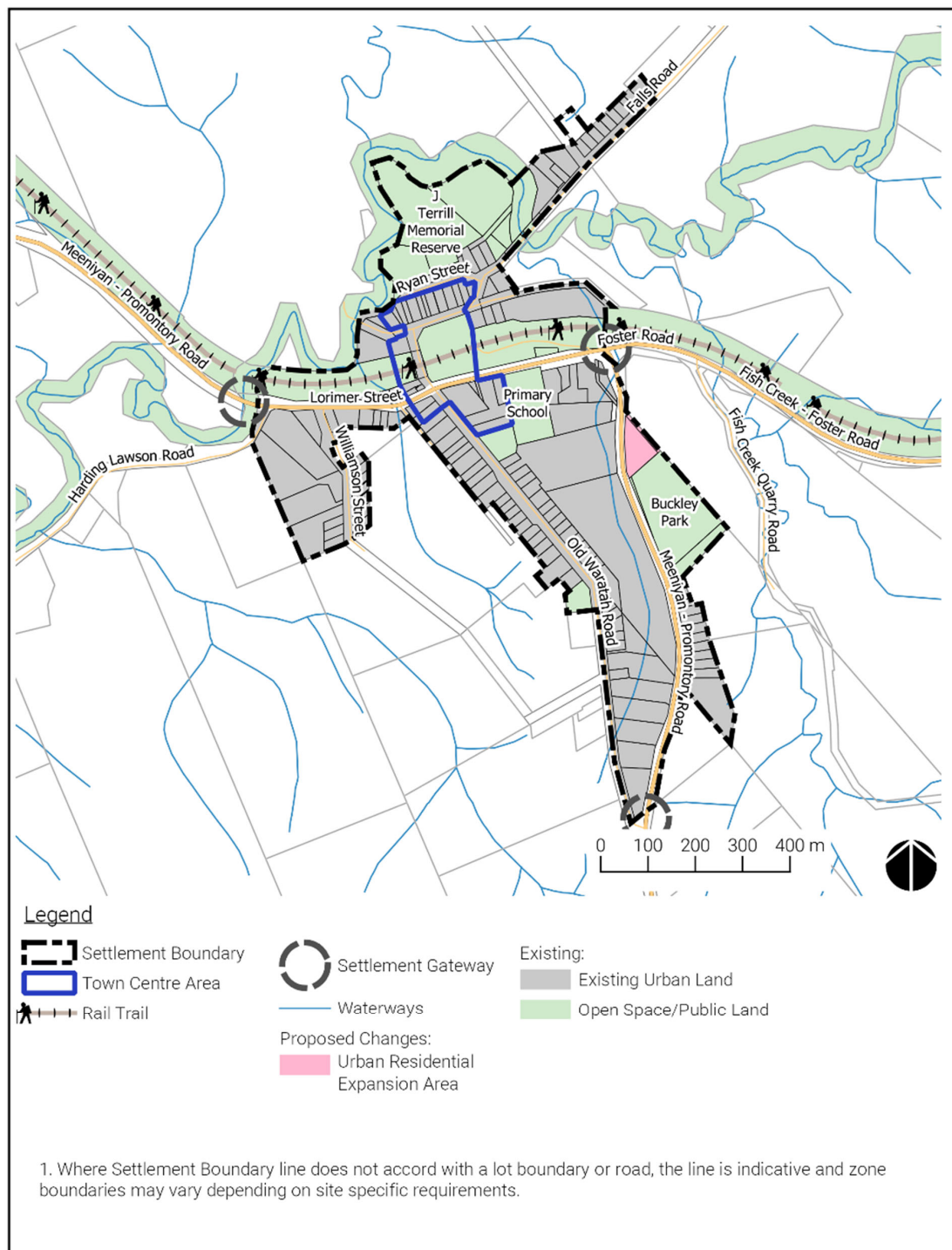
Consolidate and develop the Town Centre on Falls Road, Old Waratah Road and Foster Road as the preferred focus for commercial business, community and tourist services and facilities to residents and the smaller surrounding settlements.

Ensure that new growth, infill and redevelopment is ecologically sustainable, responsive and respectful of the site and Fish Creek's rural character, environmental values, picturesque location and unique identity.

Encourage the development of music, arts, culture and food services.

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Fish Creek framework plan



Loch strategies

Retain the existing heritage character, design and built form of the buildings along Victoria Street and Smith Street (north of Victoria Street) in recognition of their contribution to the overall image of Loch.

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Discourage subdivision in the Residential Expansion, Potential Residential Development and Low Density Residential Development areas identified in the Loch framework plan unless:

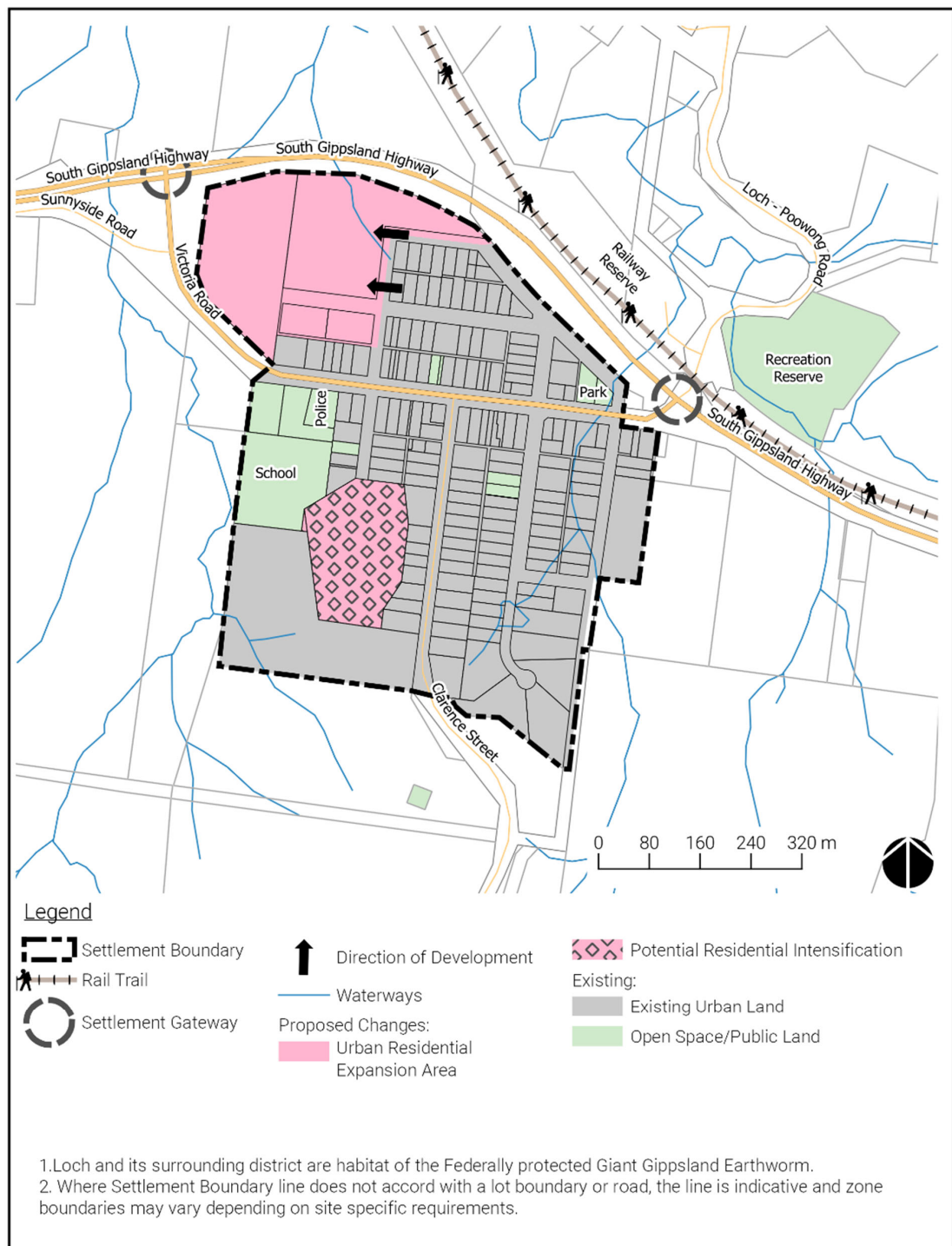
- Reticulated sewerage can be provided to the land.
- A Design and Development Overlay, or similar, has been prepared to promote development that is complementary to the existing built form and vegetated character of the town.

Encourage tourist services and facilities in the town.

Consolidate and develop the Town Centre as the preferred focus for all business, community and tourist services and facilities.

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Loch framework plan



Meeniyan strategies

Retain Meeniyan as a provider of retail, community and trades services to its residents and the smaller surrounding settlements in the region.

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Consolidate commercial development in the Town Centre precinct, from the intersection of Whitelaw Street and Geale Street to the intersection of Whitelaw Street and Ross Street.

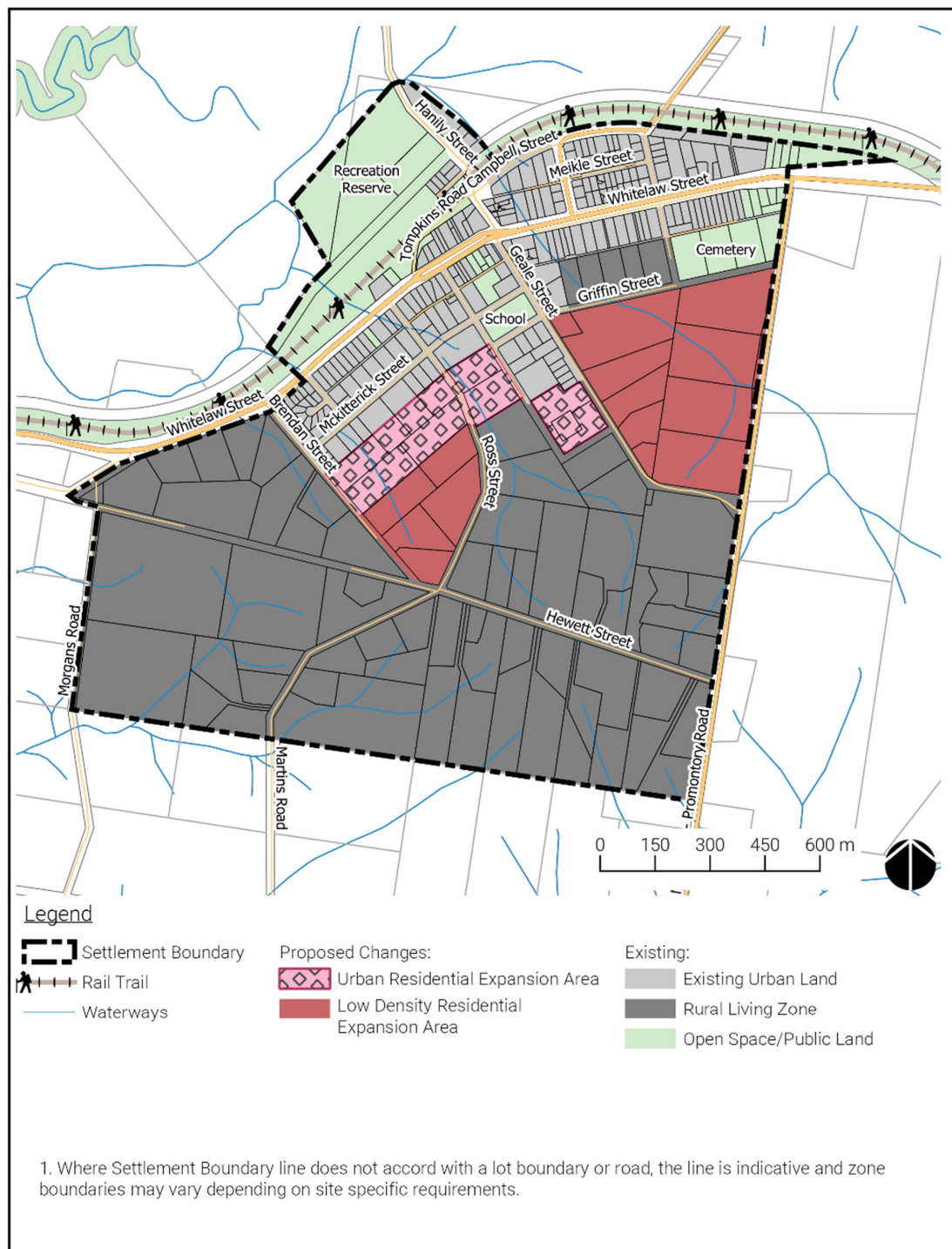
Support the development of service industrial uses on the Meeniyah - Nerrena Road to the north of the township and in appropriately zoned locations on the South Gippsland Highway.

Encourage the development of tourist accommodation in Meeniyah.

Encourage the development of music, arts, culture and food services in Meeniyah.

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Meeniyan framework plan



Nyora strategy [moved to a new stand alone policy as it has been reclassified as an emerging district centre]

Discourage any subdivision in the Future Urban Residential Expansion Areas or Long Term Residential Urban Expansion Areas identified in the Nyora framework plan unless:

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- ~~*— Reticulated sewerage can be provided to the land.~~
- ~~*— There is an identified need for additional residential land within the township.~~
- ~~*— A comprehensive assessment, feasibility study and costing has been done of required development infrastructure (roads, drainage, etc.) and community infrastructure.~~
- ~~*— A Development Contributions Plan Overlay (or similar infrastructure cost recovery method), has been applied to provide equitable financial contribution towards, or the provision of, development and community infrastructure upgrades required to support new urban residential development.~~
- ~~*— A Development Plan Overlay and Development Plan has been prepared that provides for the integrated development of the entire land having regard to environmental and landscape constraints and opportunities and the town's existing and preferred rural township character.~~

Nyora economic strategies

Encourage new light industrial activities to locate within the designated industrial area in Watts Road.

Consolidate and develop the Town Centre in the vicinity of Mitchell and Davis Streets as the focus for all business, community and tourist services and facilities.

Discourage residential land use and development, including subdivision, on commercial land apart from minor alterations to existing residential development that do not compromise commercial development in the Town Centre.

Provide for the expansion of the retail, commercial and community activities in the Town Centre that support a growing population and encourage activity at the ground level of buildings.

Ensure subdivision proposals in the Town Centre are only approved in conjunction with an approved planning permit for building development on the land.

Promote the use and development of a supermarket at land in the Town Centre, preferably at the location shown on the Nyora framework plan, to service Nyora and surrounding area as the population grows.

Nyora landscape and built form strategies

Protect the natural environmental qualities and landscape values of the Future Residential Areas and the Long Term Residential Areas identified in the Nyora framework plan.

Ensure vegetation continues as the dominant landscape feature.

Nyora infrastructure strategies

Create an integrated network of pedestrian and bicycle paths linking features and facilities in and around the township in accordance with the directions of Council's Paths and Trails Strategy 2010 (or as amended) and Melbourne Water's *Shared Pathway Guidelines* (January 2009) as amended.

Promote residential development that integrates roads, pathways and utility infrastructure with adjoining areas, particularly on land bounded by Hewson St, David Davis [Council identified anomaly] St, Walters St and Lang Lang Poowong Road.

Nyora Town Centre strategies

Encourage built form in the Nyora Town Centre to:

- ~~*— Have minimal or no front setbacks in order to reinforce this area as the commercial centre and distinguish it from the surrounding residential areas.~~
- ~~*— Provide a sense of human scale and appear low rise.~~
- ~~*— Include the development of footpaths, shared paths, continuous weather protection, active frontages and articulated facades along pedestrian connections.~~
- ~~*— Provide for physical and visual linkages to and from the surrounding residential areas and the railway reserve.~~
- ~~*— Be softened by landscaping (e.g. views of tree tops behind buildings, planting in small front setbacks).~~

Encourage fences to be low and open in style to provide for views beyond fencing, specifically for passive surveillance.

Reinforce Mitchell Street's role as the "main street" by encouraging development along to be:

- ~~*— Built to the front boundaries with weather protection.~~

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~~*— Closely spaced with narrow frontages.~~

~~Encourage signs to be:~~

~~*— Modest in size, scale and boldness (colour and lighting).~~

~~*— Proportional to the individual business premises (building size, business type, and floor area).~~

~~*— Integrate with the building.~~

~~*— Located on building frontages and verandahs, avoiding protrusions above verandahs, roof lines or parapets.~~

~~Limit directional signage to supermarket uses.~~

~~Discourage brightly illuminated signs, Major promotion signs, Reflective signs, Panel signs, High wall signs and Sky signs.~~

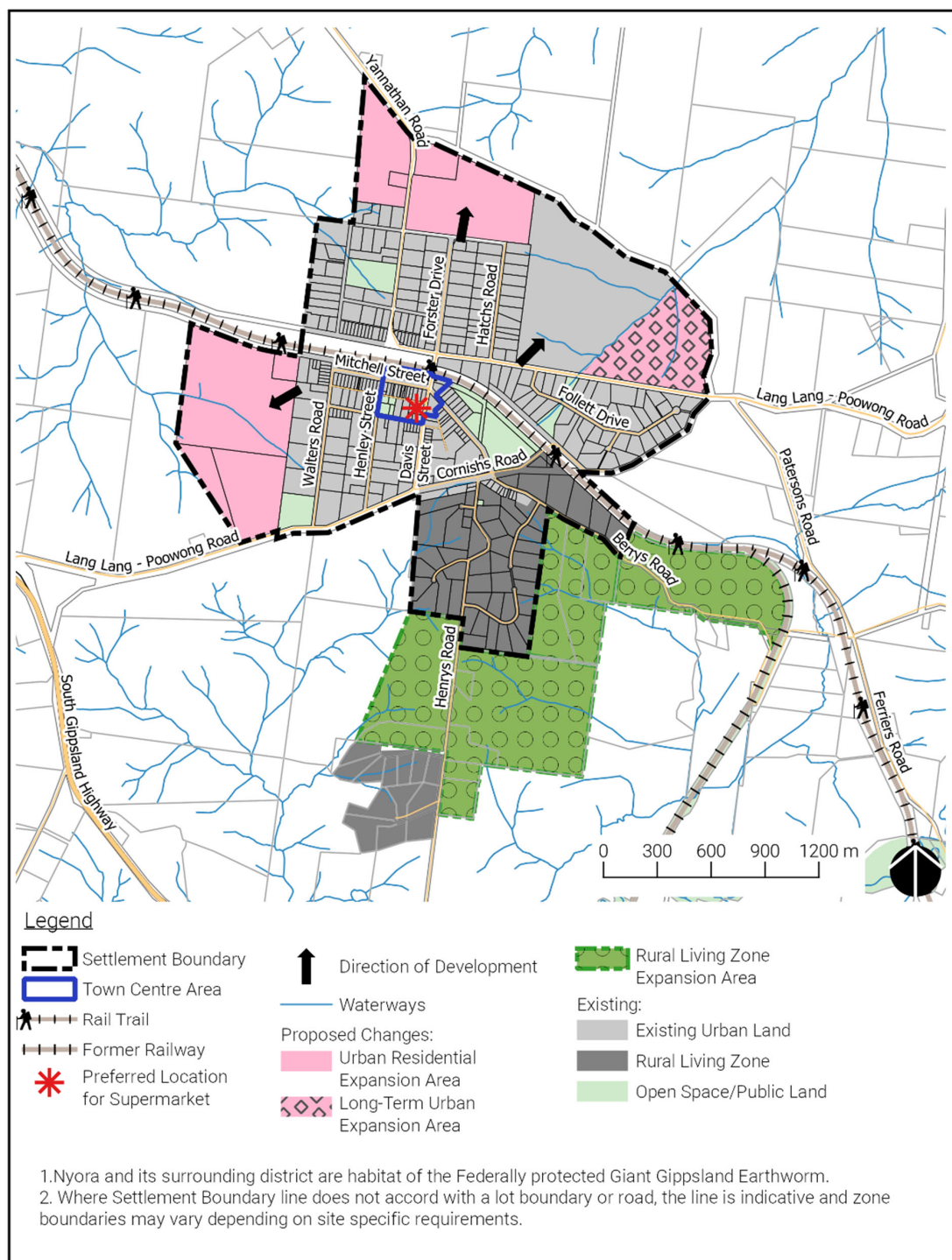
Nyora Town Centre policy guideline

~~Consider as relevant:~~

~~*— Constructing fences using building materials that reference country styles, such as through the use of timber, masonry or corrugated iron.~~

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Nyora framework plan



Poowong strategies

Retain and strengthen Poowong as a small service township by improving community, industrial and retail services, facilities and employment opportunities to support residents, surrounding agricultural communities and visitors.

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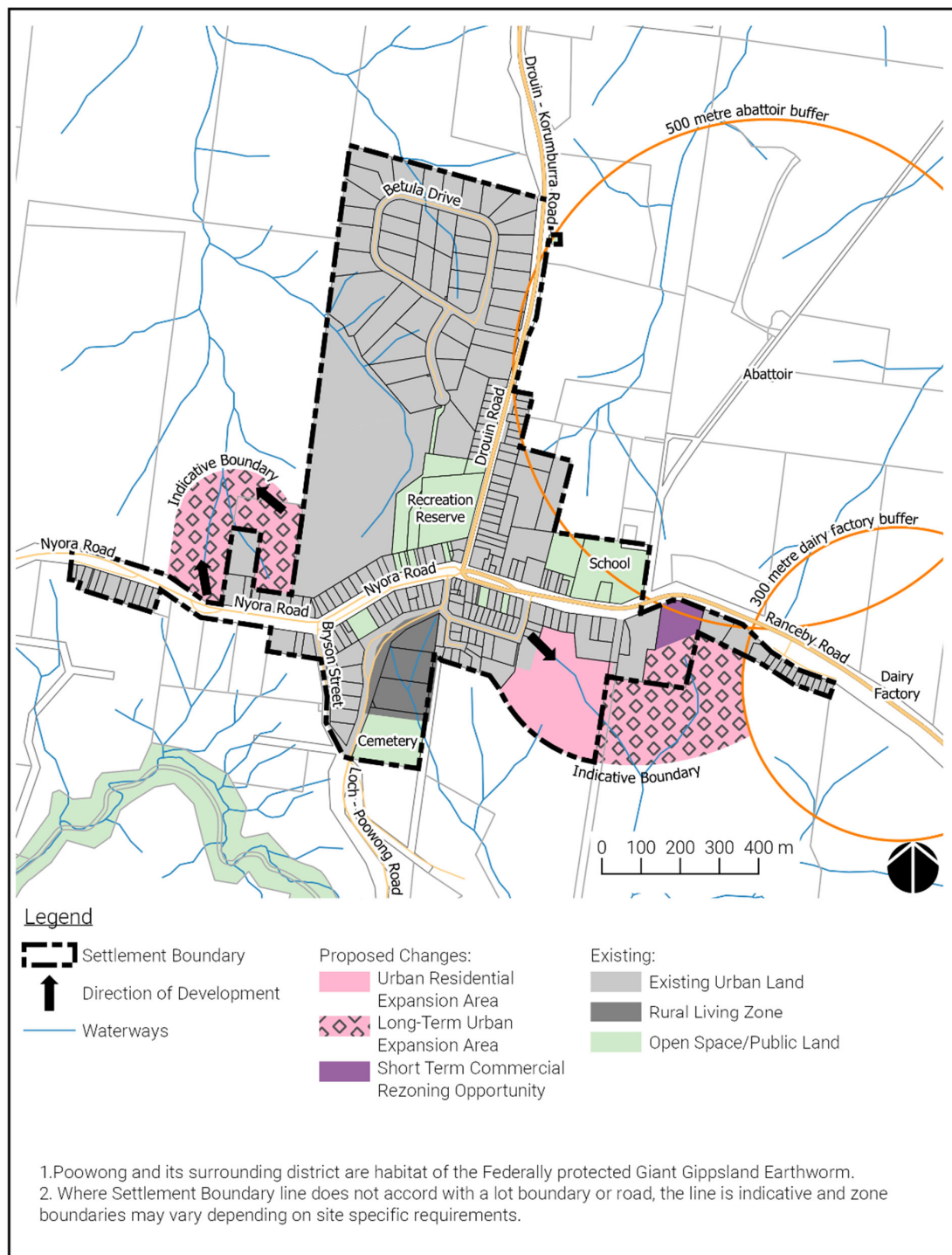
Consolidate the Town Centre on the Poowong Ranceby Road.

Support the operation of the abattoir and milk processing factory and other industrial business as important employment providers in Poowong.

Protect the natural environmental qualities and landscape values of the township to retain its attraction for tourism and rural living.

SOUTH GIPPSLAND PLANNING SCHEME
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Poowong framework plan



Toora strategies

Discourage ~~any~~ subdivision in the Township and Low Density Residential Zones ~~does not occur~~ [simplified, plain English] unless:

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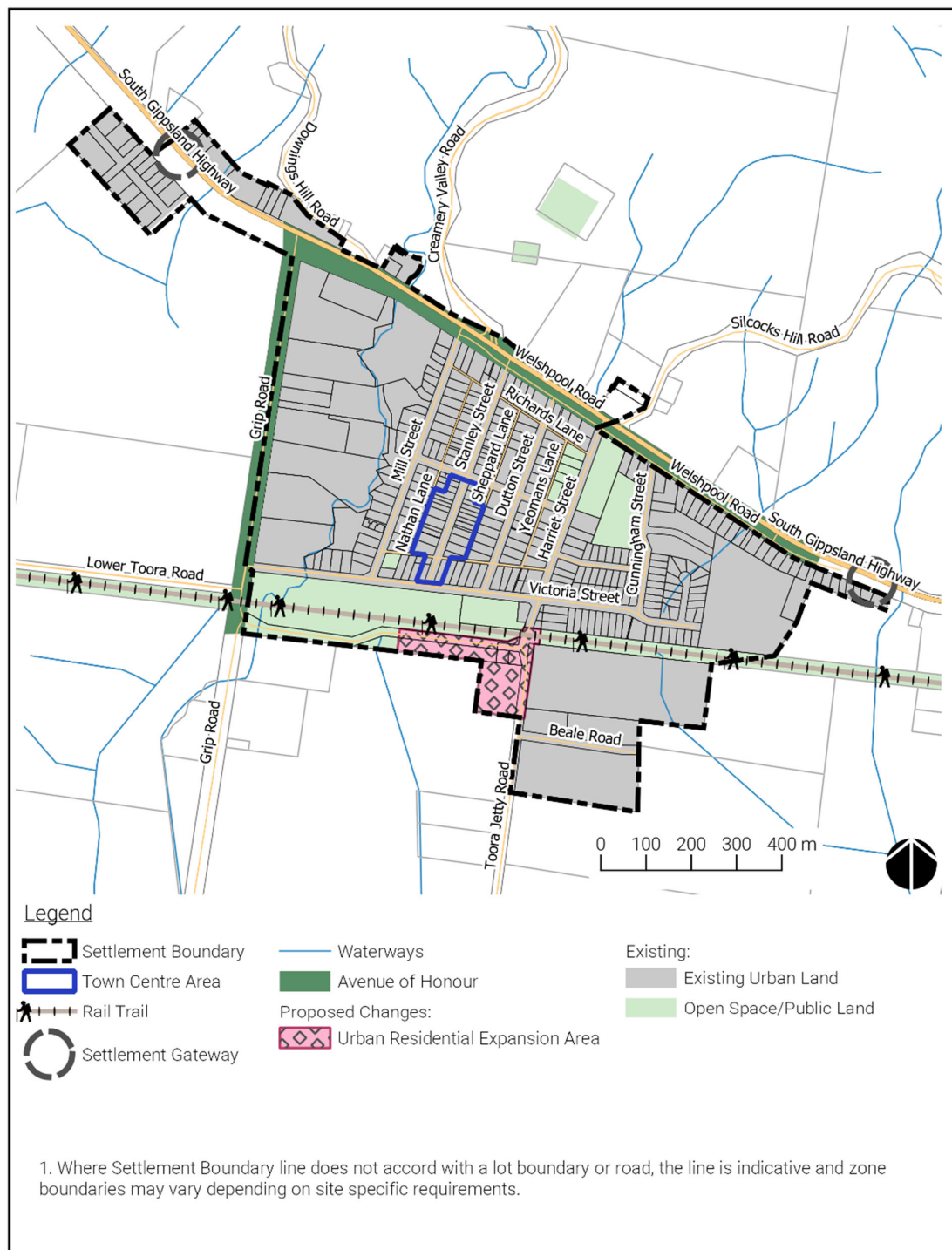
- Reticulated sewerage can be provided to the land.
- There is an identified need for additional residential subdivision within the town.

Encourage small-scale tourism within the Township Zone in Toora.

Conserve and enhance heritage character, in particular along Stanley Street, due to the contribution to the overall image of Toora.

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Toora framework plan



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11.01-1L-08 VILLAGES – KOONWARRA AND WELSHPOOL – [SOUTH GIPPSLAND](#)

C127sgjp 03/03/2022

Policy application

This policy applies to the land identified on the Koonwarra and Welshpool framework plans [that form part of this Clause](#).

General strategies

Promote ecologically sustainable and attractive forms of development that complement Koonwarra's and Welshpool's natural and built environmental characteristics.

Encourage development that is sympathetically designed and located to protect the environmental and landscape values of the surrounding area.

Koonwarra strategies

Encourage infill development of vacant lots within the Township Zone and Low Density Residential Zone.

Encourage boutique tourism associated with sustainability and/or gourmet food.

Welshpool strategies

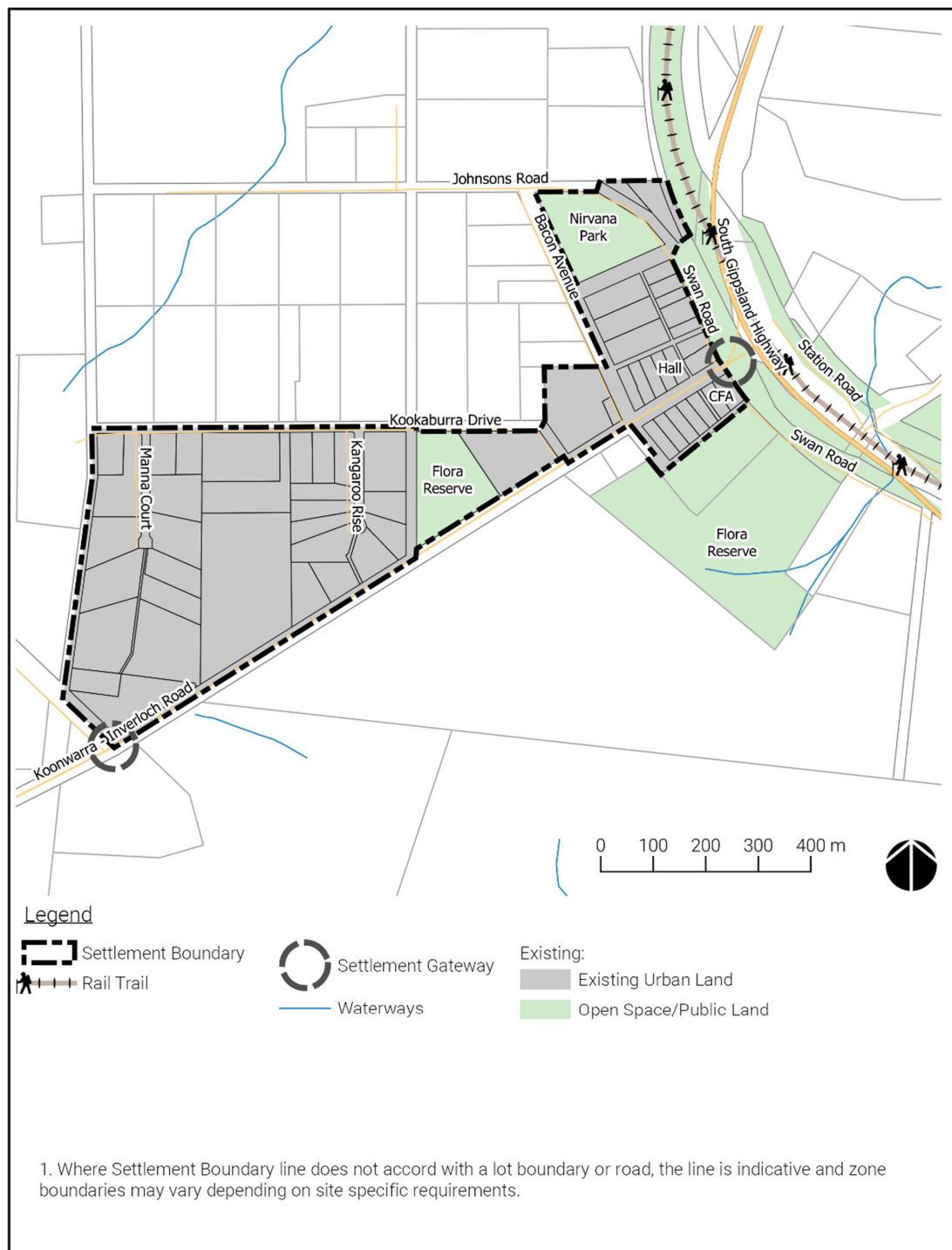
Encourage infill development of vacant lots within the Township Zone.

Focus commercial services and facilities in the Welshpool Town Centre Area.

Conserve and enhance heritage character due to its contribution to the overall image of Welshpool.

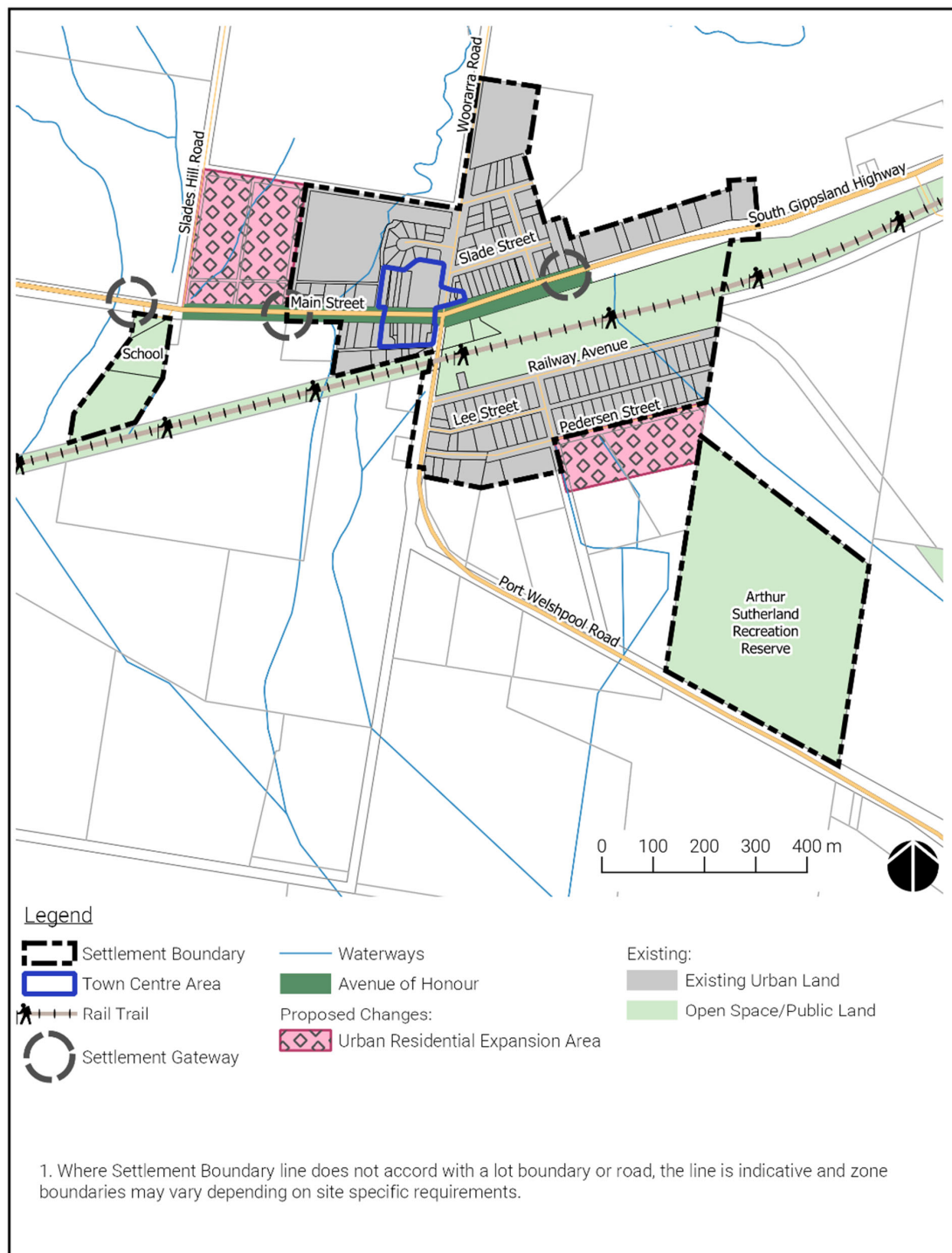
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Koonwarra framework plan



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Welshpool framework plan



11.01-1L-09 COASTAL VILLAGE – PORT WELSHPOOL, SANDY POINT, TARWIN LOWER, VENUS BAY, WALKERVILLE, WARATAH BAY AND YANAKIE

C125sgip 08/09/2022

Policy application

This policy applies to the land identified on the Port Welshpool, Sandy Bay, Tarwin Lower, Venus Bay, Walkerville, Waratah Bay and Yanakie framework plans [that form part of this Clause](#).

General strategies

Maintain the low scale, holiday character of each Coastal Village including by maintaining the current housing density.

Maintain the rural buffer between Sandy Point and Waratah Bay.

Maintain the rural buffer between Tarwin Lower and Venus Bay.

~~Design d~~ ~~Development has been designed to minimise the visual impact from key viewing locations, particularly town approaches and high points in the coastal landscape. [last dot point of 4th strategy under this clause] [not a pre-cursor for expansion, rather a strategy in its own right]~~

Ensure that any expansion into the long term development areas identified on the relevant framework plans does not occur until:

- A significant proportion of vacant lots within the Township Zone and Low Density Residential Zone has been developed.
- Reticulated water and sewerage is made available.
- Further investigation is undertaken to confirm the extent of potential problems associated with acid sulphate soils and/or flooding.
- Further investigation is undertaken to confirm the location of sites of heritage significance.
- Further investigation is undertaken to confirm the location of sites of environmental significance.
- ~~Development has been designed to minimise the visual impact from key viewing locations, particularly town approaches and high points in the coastal landscape. [Create as strategy under this clause] [not a pre-cursor for expansion, rather a strategy in its own right]~~

Port Welshpool strategies

Encourage small-scale tourism within the Township Zone in Port Welshpool that complements the natural environment, agricultural and landscape values of the region and takes advantage of proximity to tourist routes and access to the Great Southern Rail Trail.

Encourage medium-scale tourism, compatible with any environmental constraints, in the precinct in the Township Zone in the vicinity of Long Jetty at Port Welshpool.

Encourage aquaculture and other marine related activities at Port Welshpool.

Sandy Point strategies

Promote development that respects and enhances the coastal character of the village.

Promote long term development areas in locations that maintain pedestrian accessibility to the nearby foreshore and commercial centre.

Tarwin Lower strategies

Encourage infill development of vacant lots within the Township Zone and Low-Density Residential Zone.

Protect the environmental values of the Tarwin River environment and Anderson Inlet.

Focus new commercial and industrial use and development within the existing commercial precinct in Evergreen Road between Walkerville Road and School Road.

Discourage commercial and industrial use and developments within the residential areas.

Venus Bay strategies

Limit projected residential growth to the long term development areas identified on the Venus Bay Estate 1 framework plan ~~and the Venus Bay Estate 2 framework plan~~. [Council-identified anomaly]

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Focus new commercial services and facilities in the Commercial 1 Zone and the Commercial 1 Zone Investigation Area in Jupiter Boulevard in Estate 1 in accordance with the *Venus Bay Tourism Precinct Plan. (June 2020)*.

Protect the environmental values of Anderson Inlet and Cape Liptrap Coastal Park.

Preserve the different styles of each estate.

Maintain the rural buffer between the first, second and third estates of Venus Bay as well as between Venus Bay and Tarwin Lower.

Walkerville strategies

Maintain Walkerville - Promontory View Estate, Walkerville North and Walkerville South as principally un-serviced holiday destinations.

Discourage any further commercial development in the Walkerville - Promontory Views Estate area, Walkerville North and Walkerville South apart from non-retail commercial facilities which are aimed at the tourist market and which could be readily confined to a house or residential property.

Protect the environmental values of Cape Liptrap Coastal Park, the beaches, and flora and fauna in and around the Walkerville settlements.

Ensure Control the design and siting of development in Walkerville – Promontory View Estate, Walkerville North and Walkerville South is controlled to by: [to commence with PG approved verb]

- Minimising visual intrusion of development into any public use areas and the beach.
- Maintaining continuous indigenous vegetation canopy.
- Reducing distant visibility through the use of darker colours / non-reflective materials.

Preserve the different styles of each estate.

Maintain the rural, vegetated buffer between the subdivisions that comprise Walkerville Coastal Village.

Waratah Bay strategies

Protect the environmental values of Cape Liptrap Coastal Park, the beaches and flora and fauna in and around Waratah Bay.

Promote Waratah Bay as the gateway to Cape Liptrap Coastal Park and as a tourist destination for nature-based recreation.

Develop a network of habitat corridors and vegetation linkages throughout the Coastal Village.

Maintain the low level of commercial development within the Coastal Village.

Protect the identified landscape values of the area including the views across Waratah Bay, Wilsons Promontory and Cape Liptrap Coastal Park by:

- Maintaining the rural buffer between Waratah Bay and Sandy Point.
- Maintaining the unobtrusive coastal character of the hamlet.

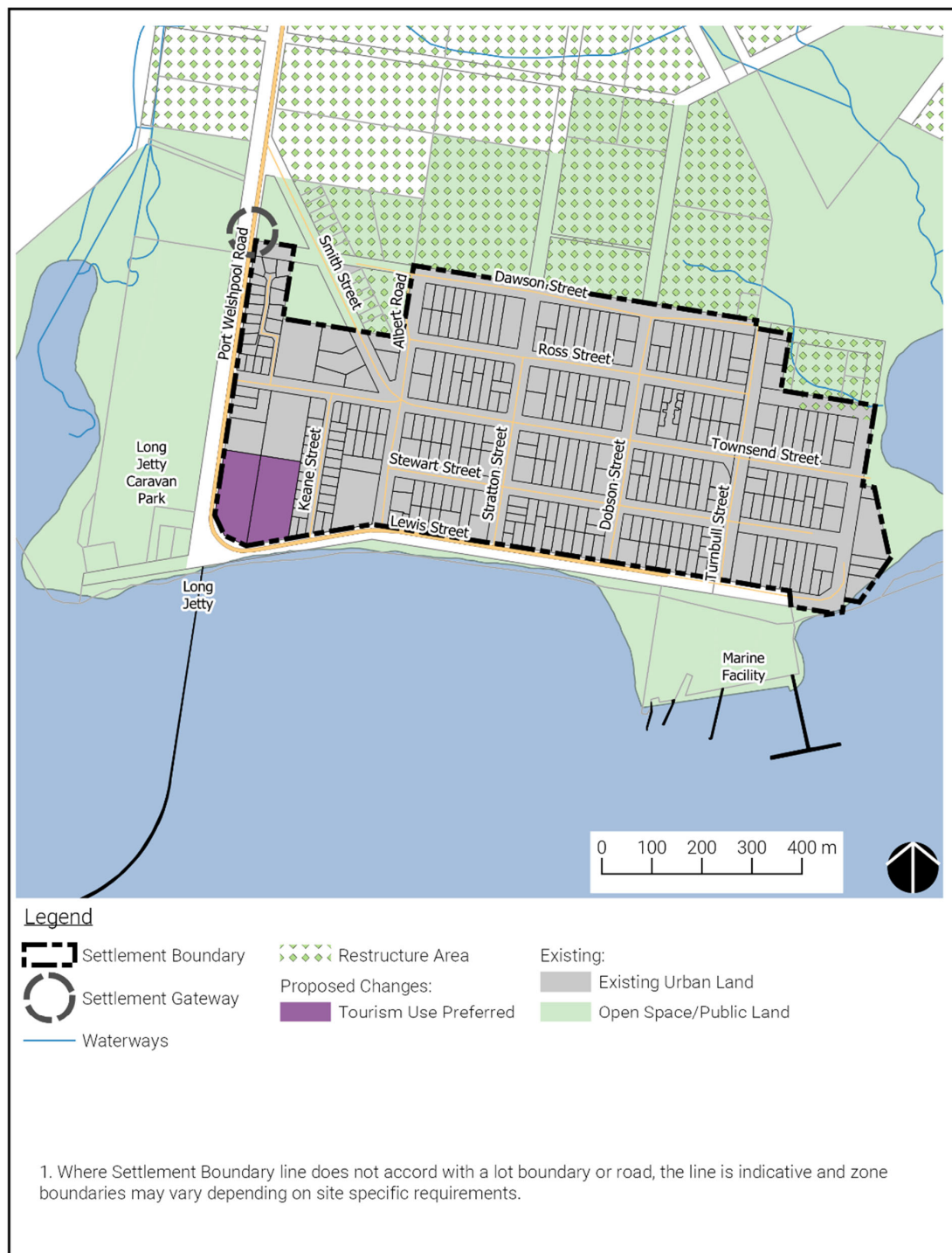
Yanakie strategies

Direct commercial business, community and tourist services and facilities to the Town Centre on the Meeniyan Promontory Road.

Encourage small-scale tourism development at Yanakie.

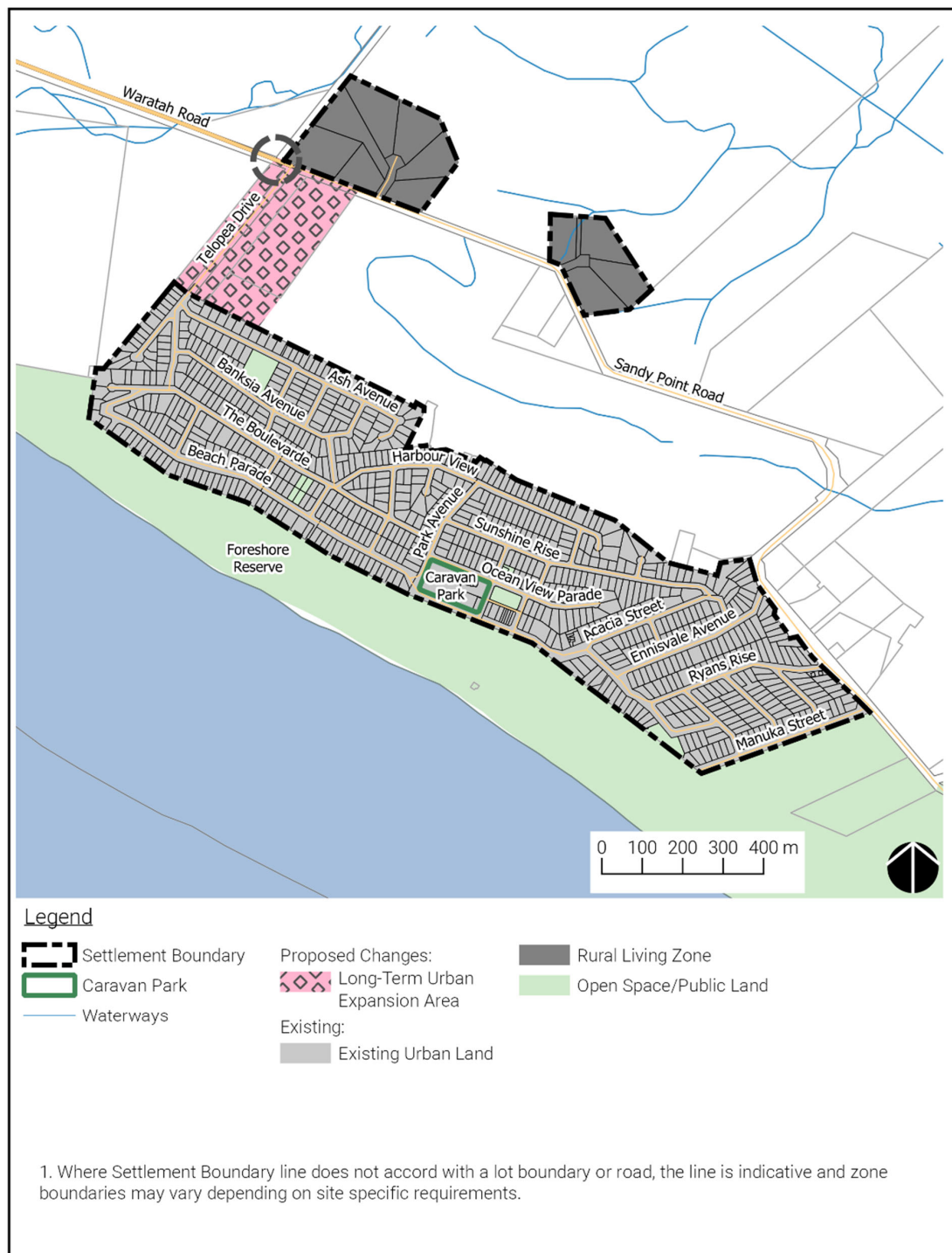
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Port Welshpool framework plan



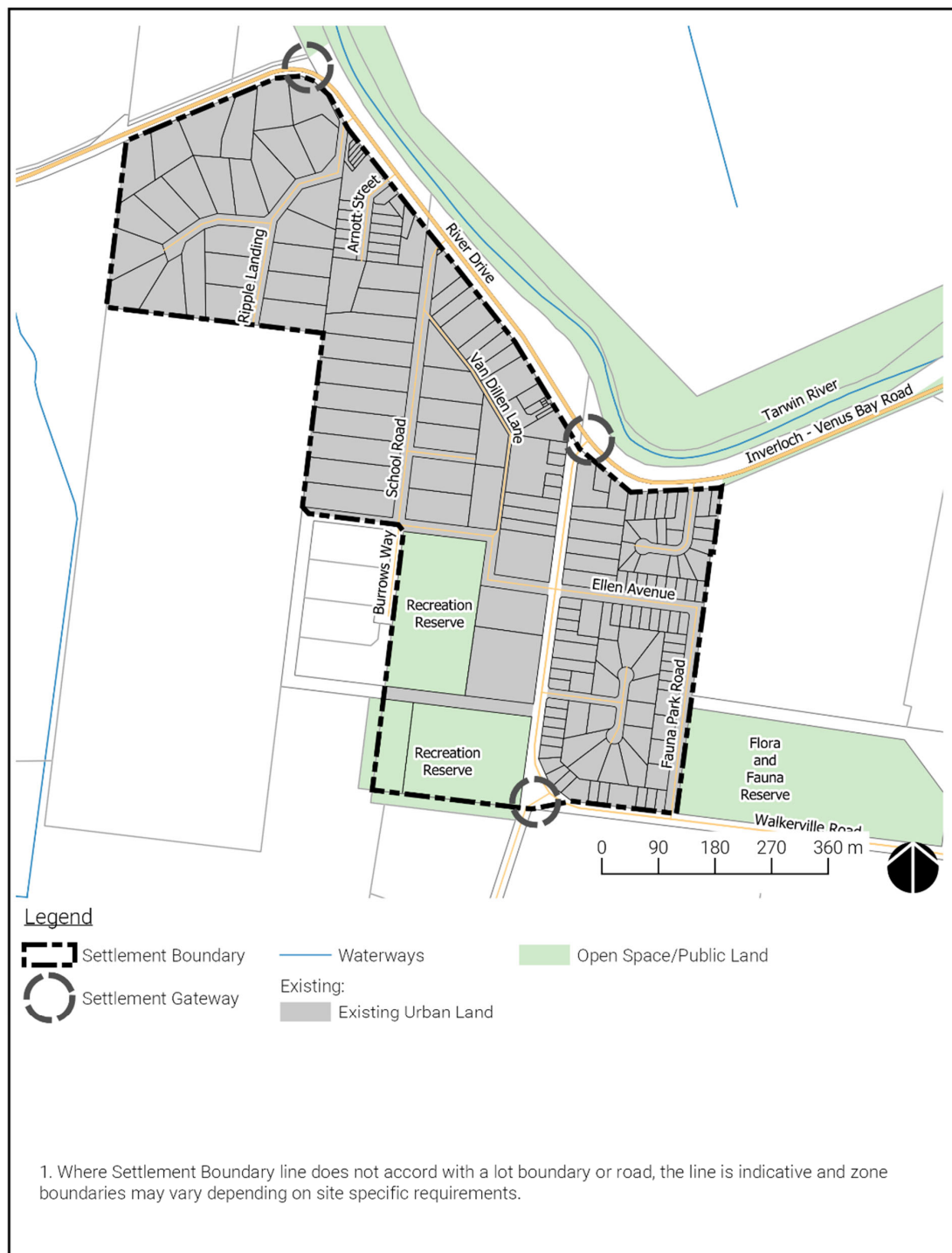
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Sandy Point framework plan



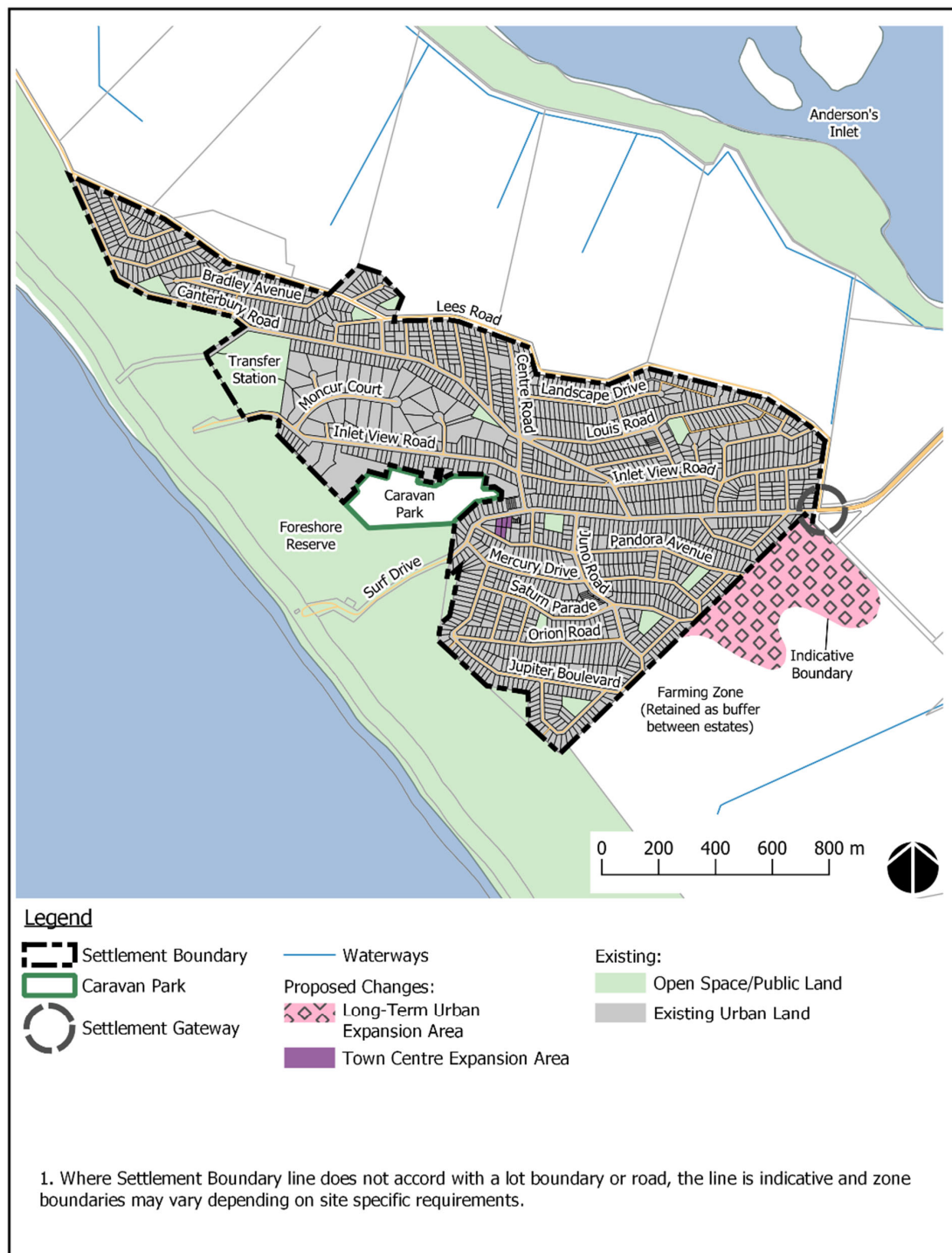
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Tarwin Lower framework plan



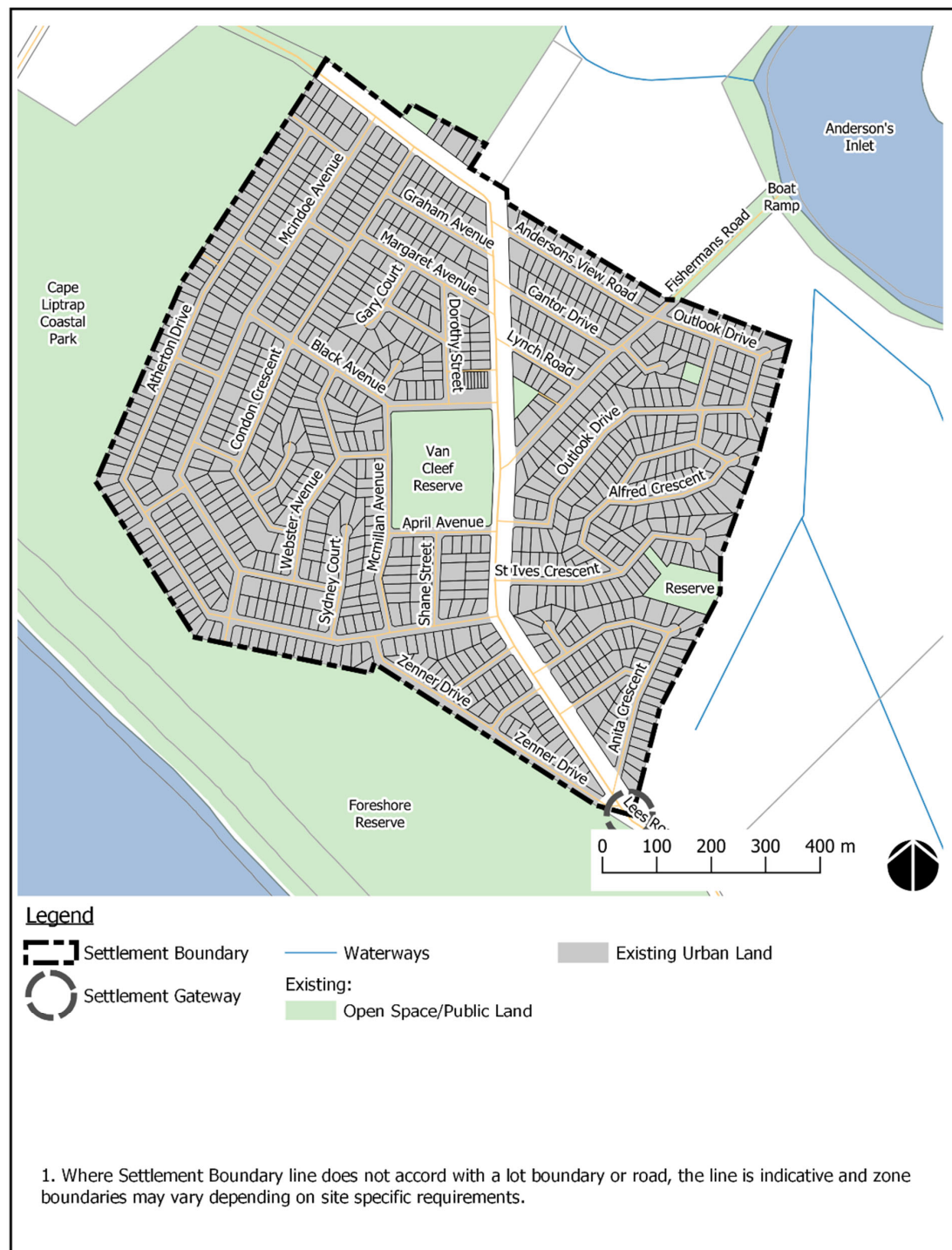
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Venus Bay Estate 1 framework plan



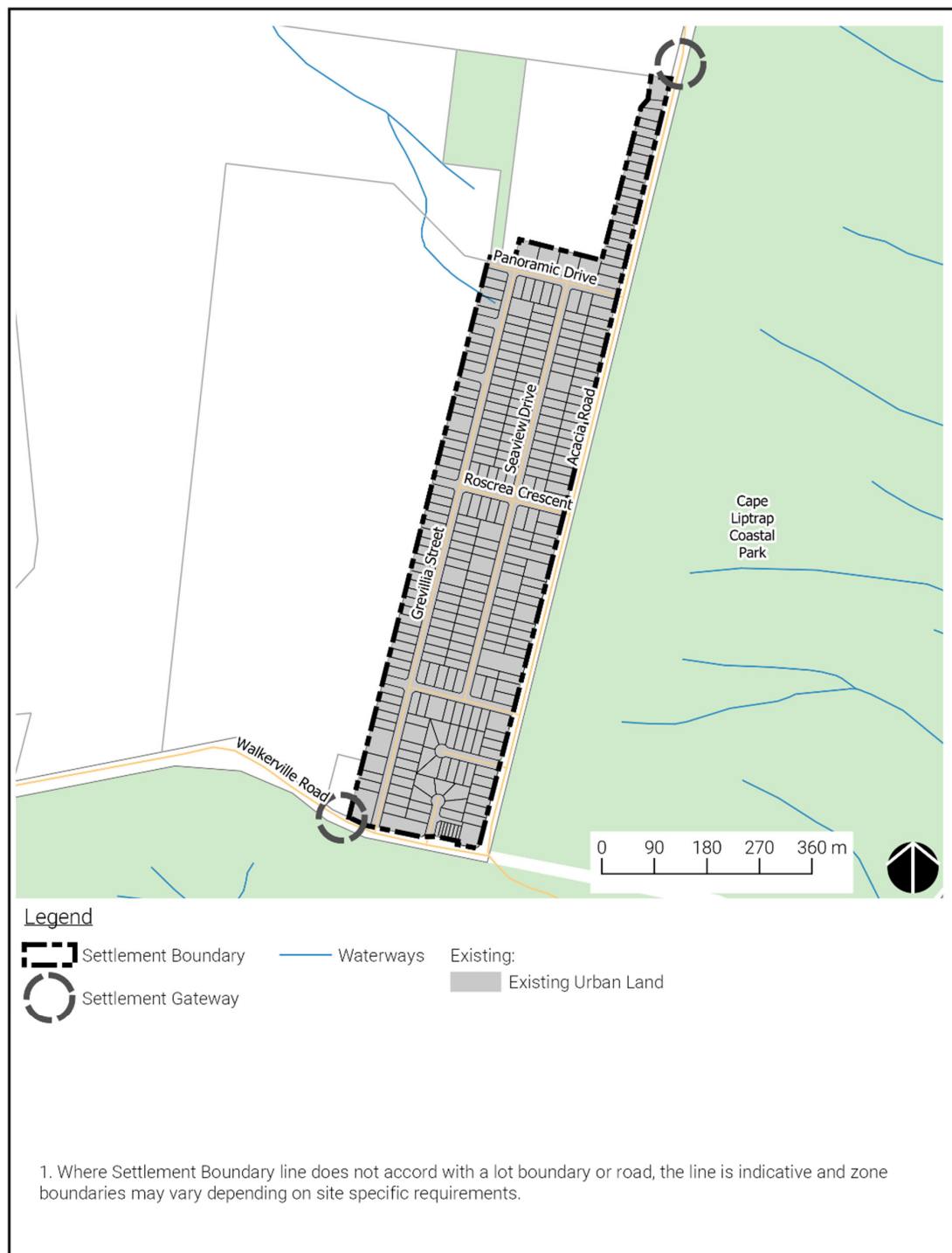
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Venus Bay Estate 2 framework plan



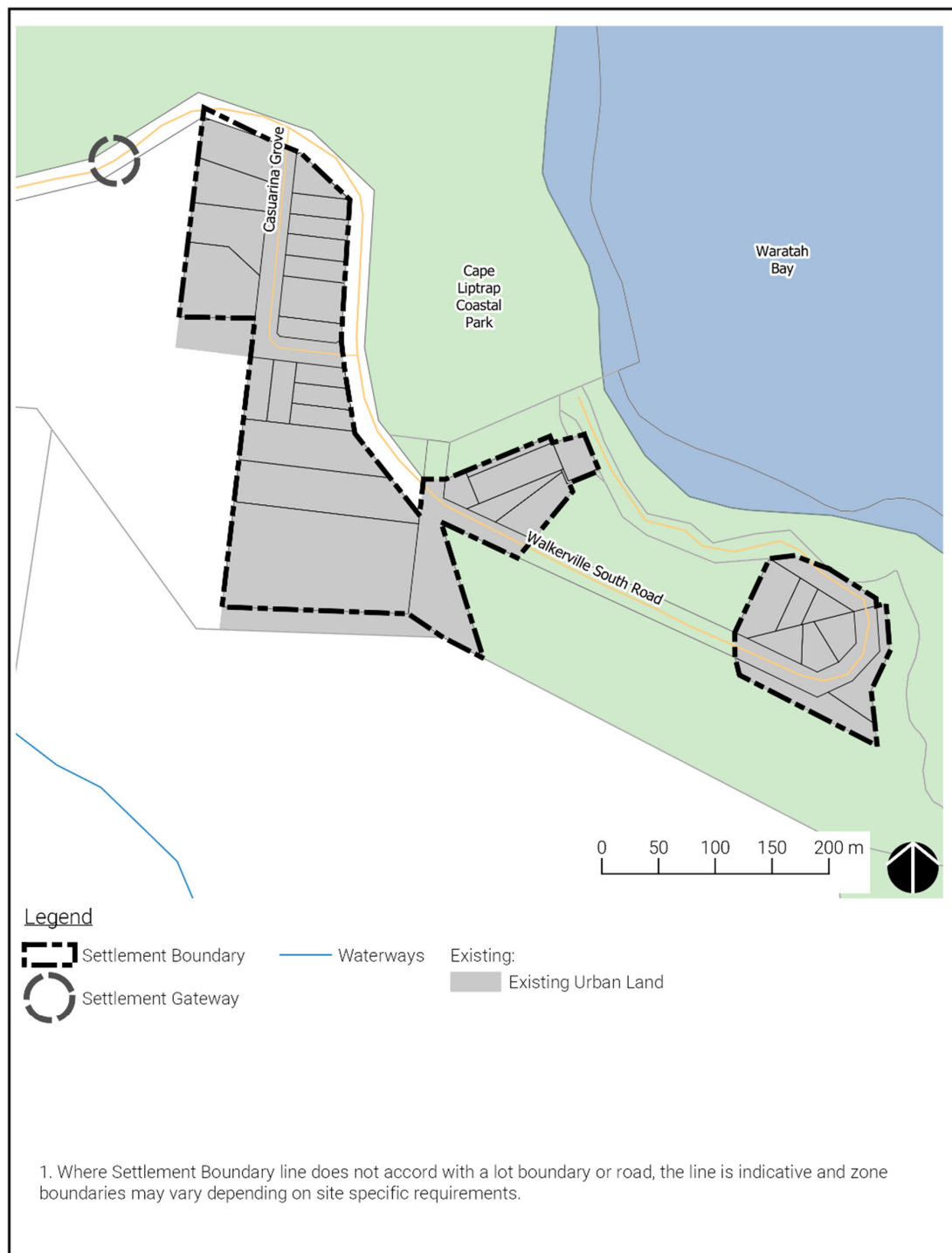
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Walkerville framework plan



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Walkerville South framework plan



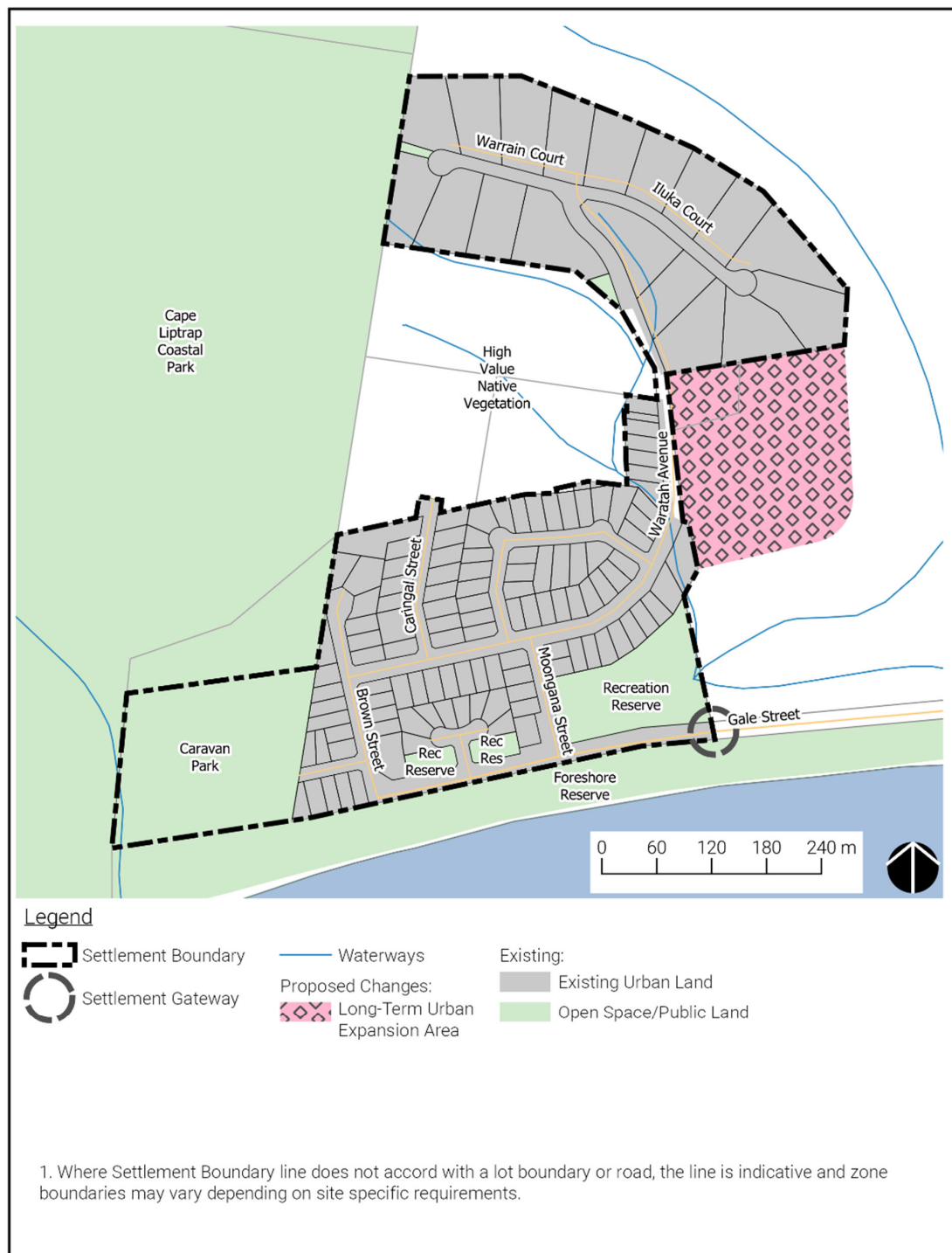
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Walkerville North framework plan



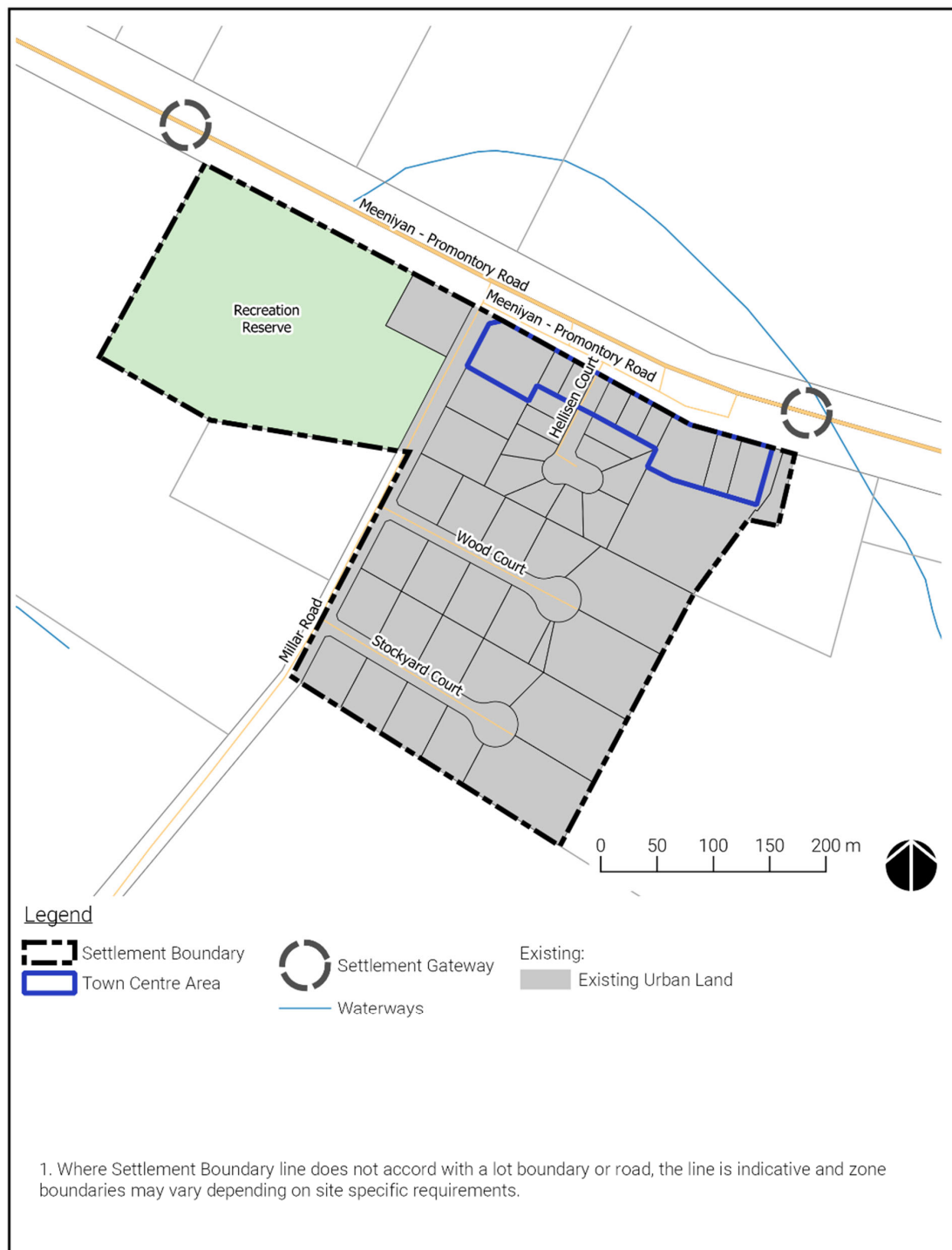
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Waratah Bay framework plan



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Yanakie framework plan



**11.01-1L-10 HAMLETS – BENA, BUFFALO, DUMBALK, JUMBUNNA, KONGWAK,
MIRBOO, PORT FRANKLIN, RUBY AND STONY CREEK – [SOUTH GIPPSLAND](#)**

C127sgip 03/03/2022

Policy application

This policy applies to the land identified on the Bena, Buffalo, Dumbalk, Jumbunna, Kongwak, Mirboo, Port Franklin, Ruby and Stony Creek framework plans [that form part of this Clause](#).

All Hamlets strategies

Support development of infrastructure that provides access to any future rail trail developed in hamlets adjoining the former railway line.

Encourage development that is sympathetically designed and located so as to protect the environmental and landscape values of the surrounding area.

Buffalo strategy

Allow for rural dwellings on small Crown lots in the vicinity of Hall Road and McPhee Street where the lot has been consolidated to comply with the Buffalo Restructure Plan.

Dumbalk strategy

Consolidate the Town Centre of Dumbalk as the preferred focus for commercial services and facilities.

Jumbunna strategy

Allow for dwellings on small lots in Cruickshank Road, Gooches Road, Hazel Road, Herring Lane, Lynn Street, McLeans Road, Rees Road and Taveners Road, where the lot has been consolidated to comply with the Jumbunna Restructure Plan.

Kongwak strategies

Consolidate the Town Centre of Kongwak as the preferred focus for commercial services and facilities.

Support tourism opportunities associated with Kongwak Market and the former Butter Factory.

Port Franklin strategies

Allow for rural dwellings on small Crown lots in Port Franklin Road (the historic Liverpool subdivision) where the lot has been consolidated to comply with the Port Franklin Road Restructure Plan or the Durston Road Restructure Plan.

Discourage development in the absence of reticulated sewerage at Port Franklin.

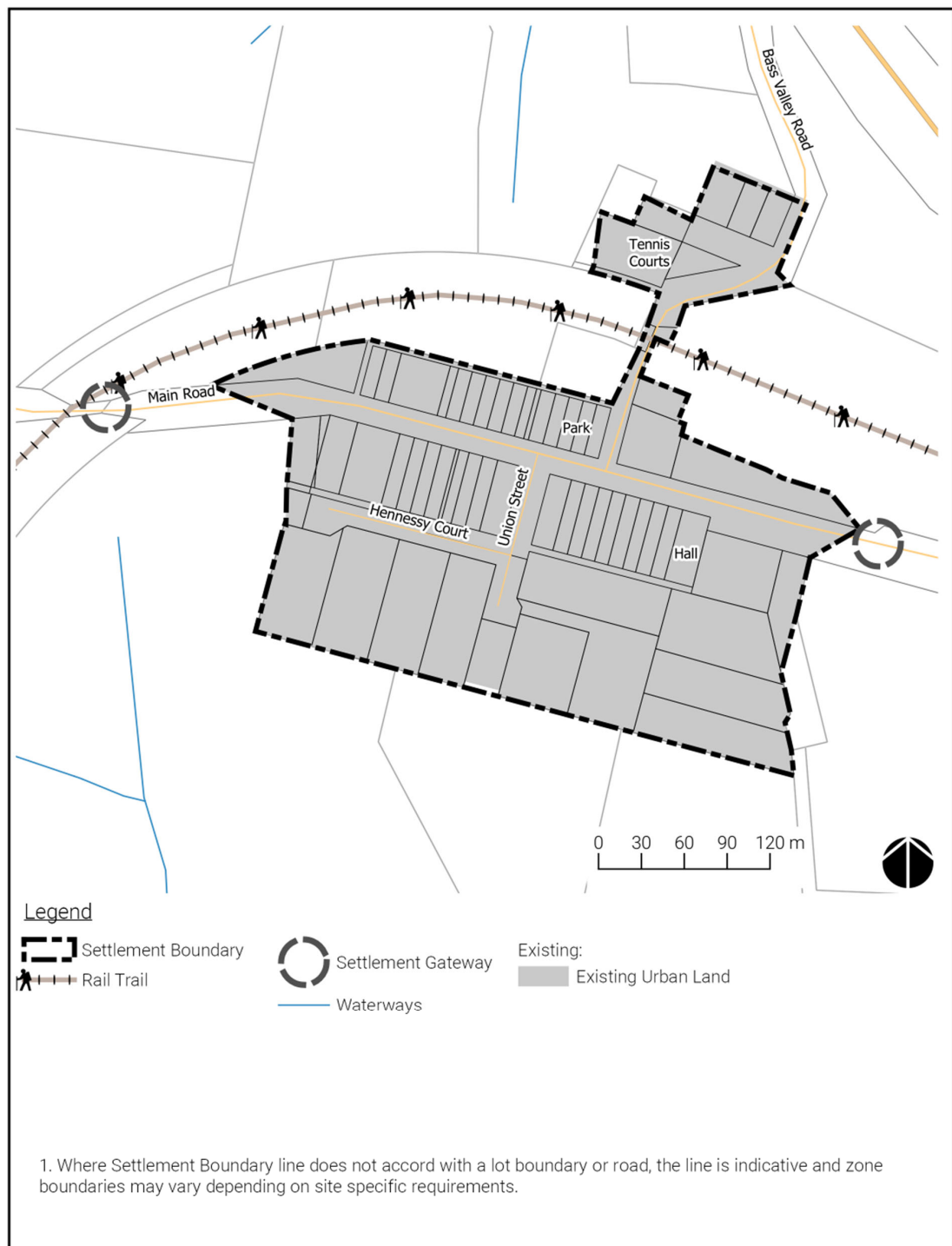
Stony Creek strategies

Discourage proliferation of rural dwellings on small Crown lots in Jacks Road where in accordance with the relevant Jacks Road Restructure Plan.

Promote equine related land uses between Stony Creek and Meeniyan.

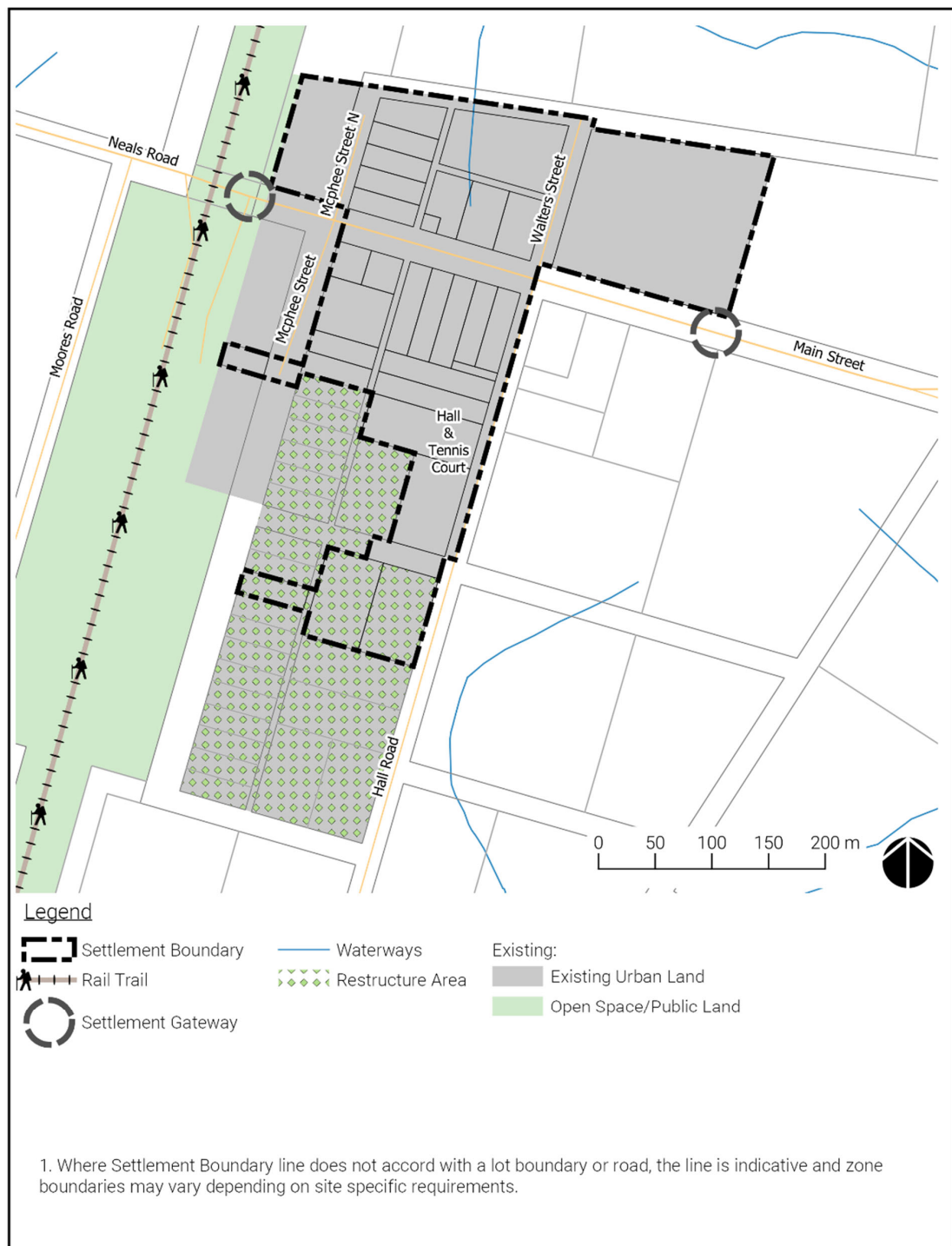
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Bena framework plan



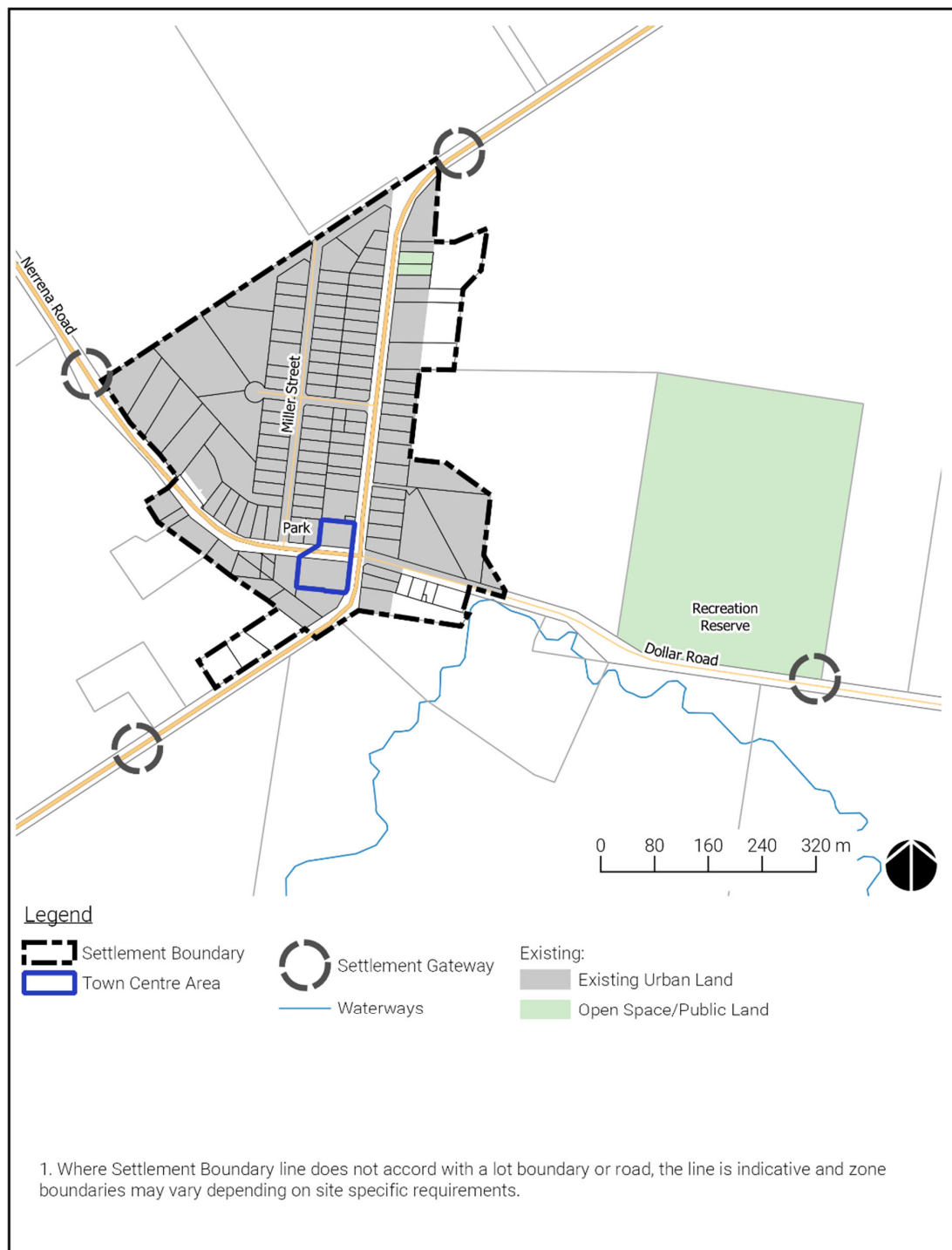
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Buffalo framework plan



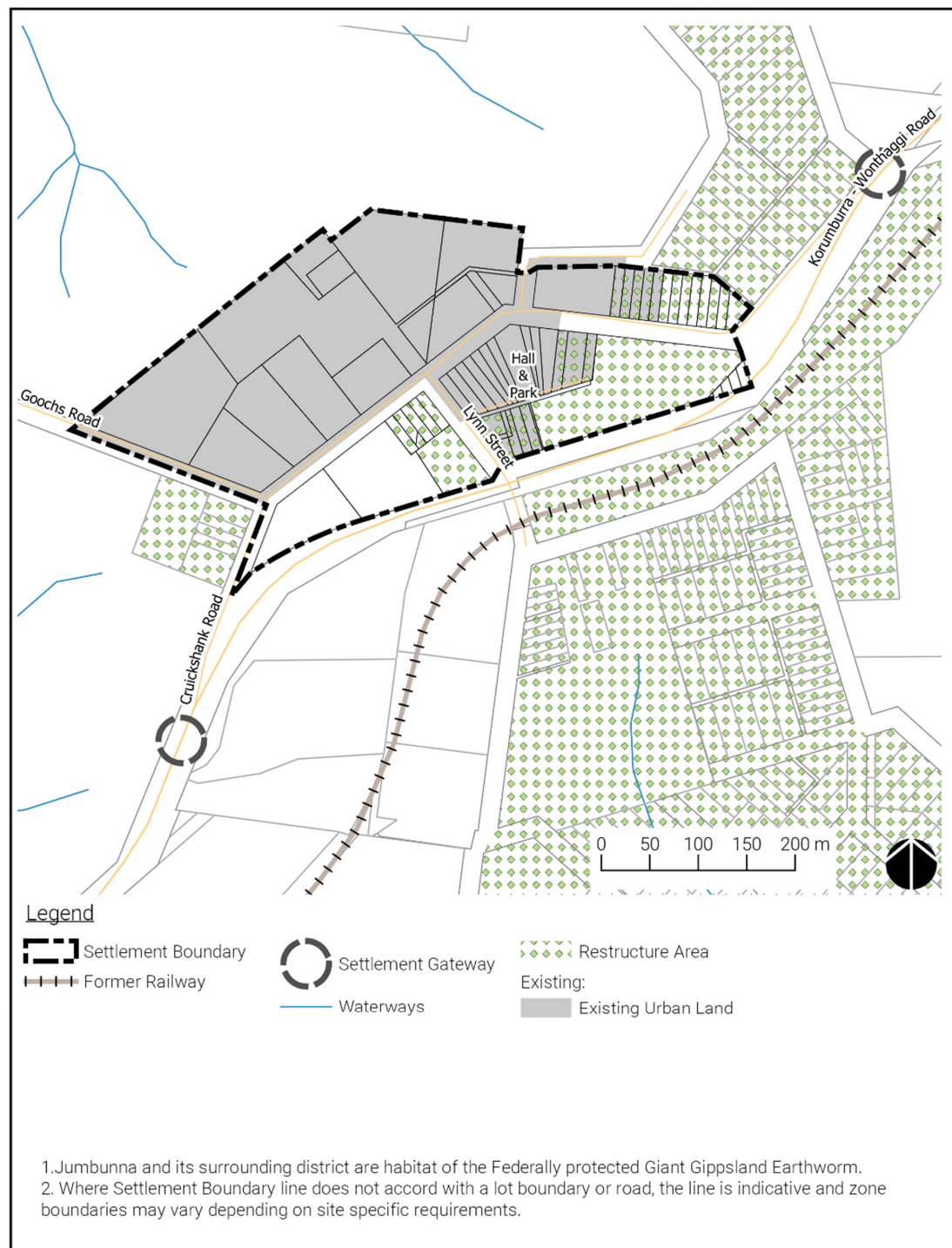
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Dumbalk framework plan



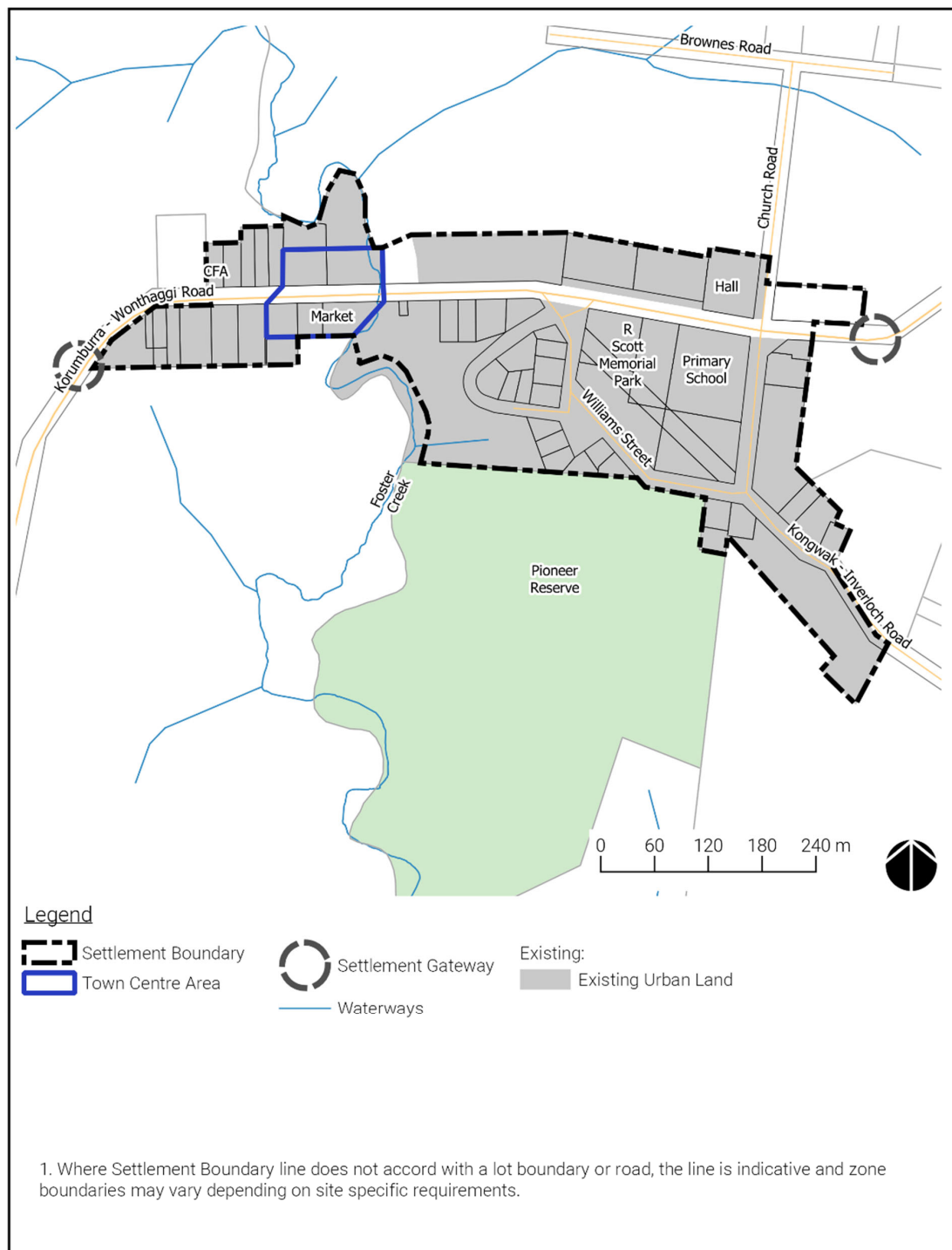
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Jumbunna framework plan



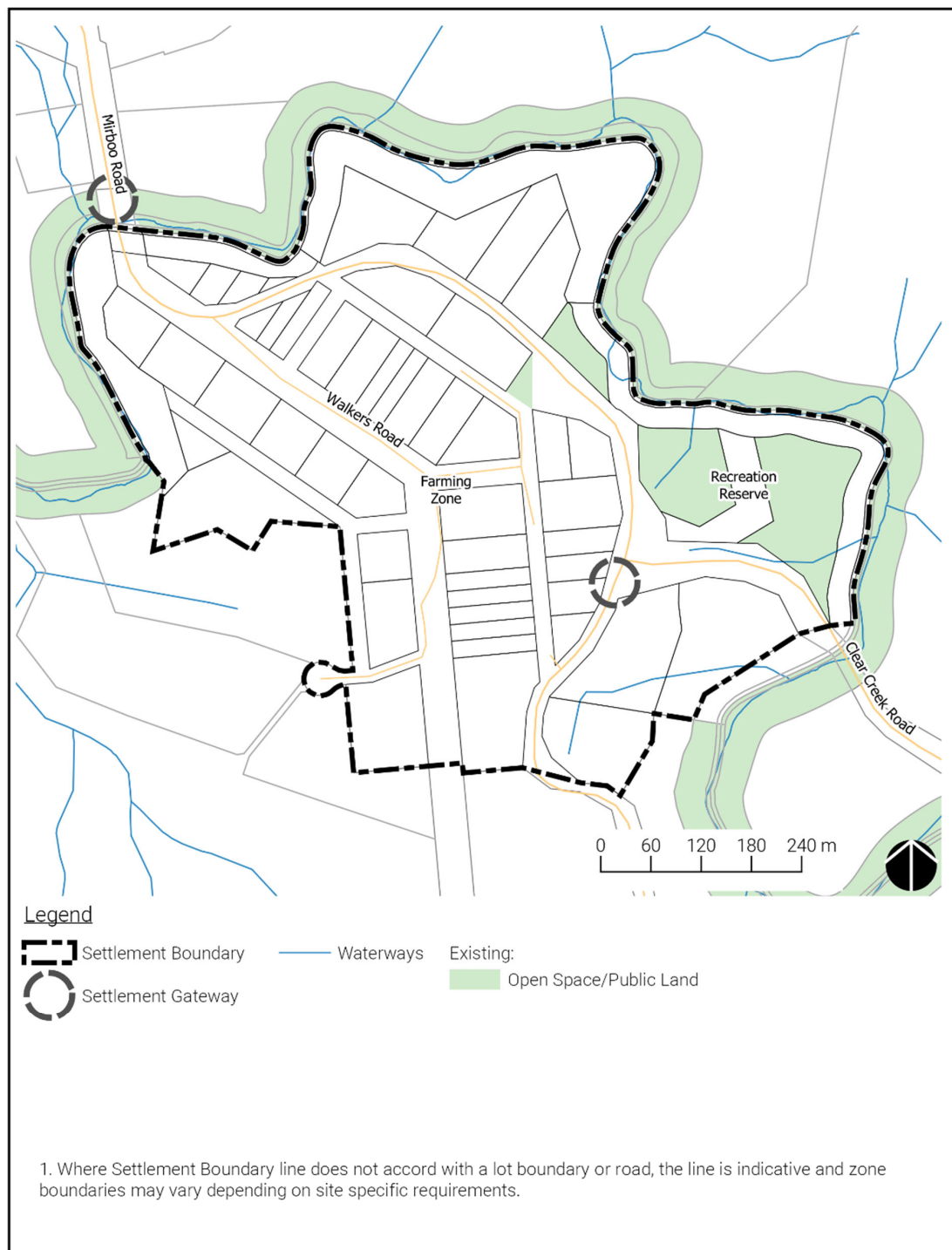
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Kongwak framework plan



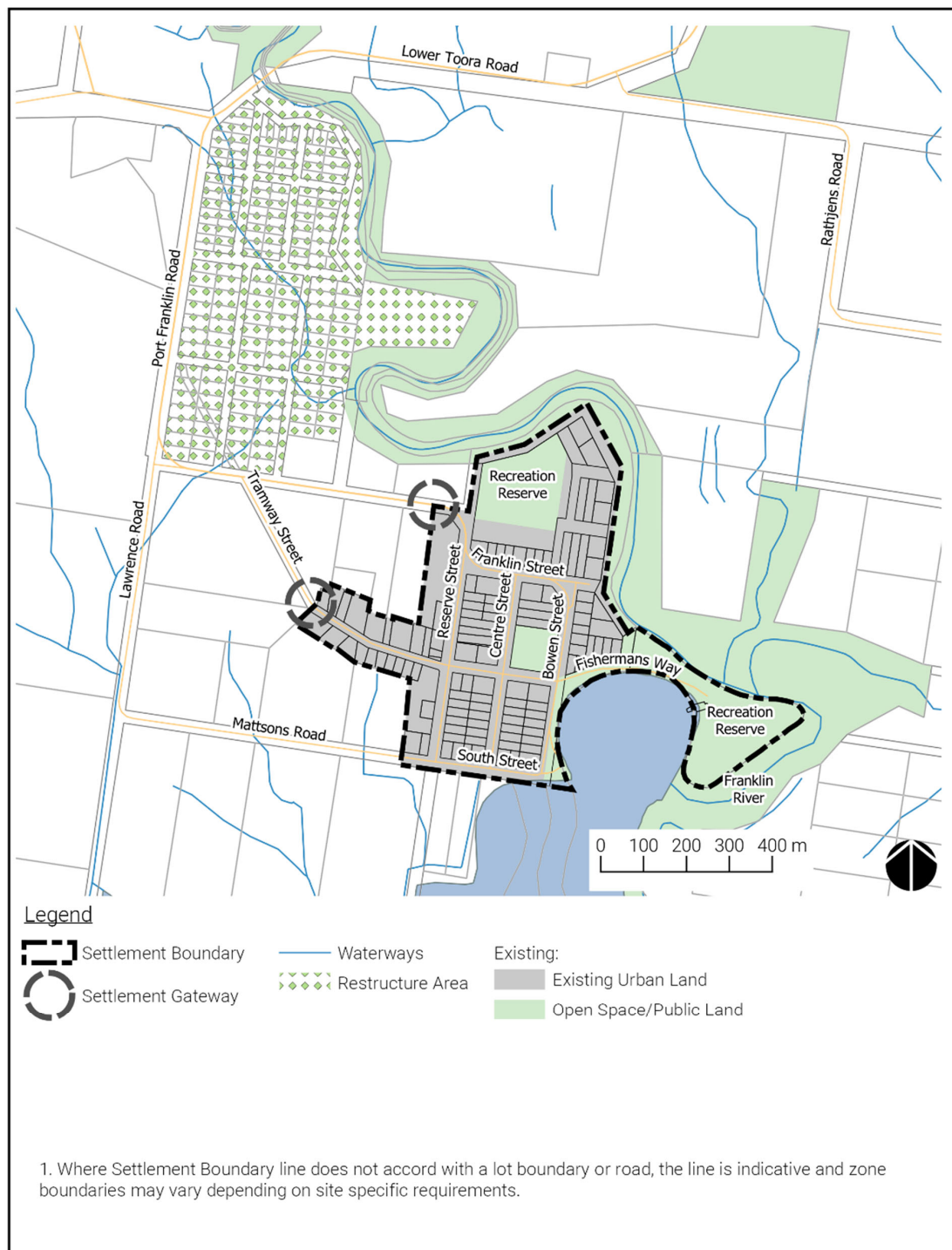
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Mirboo framework plan



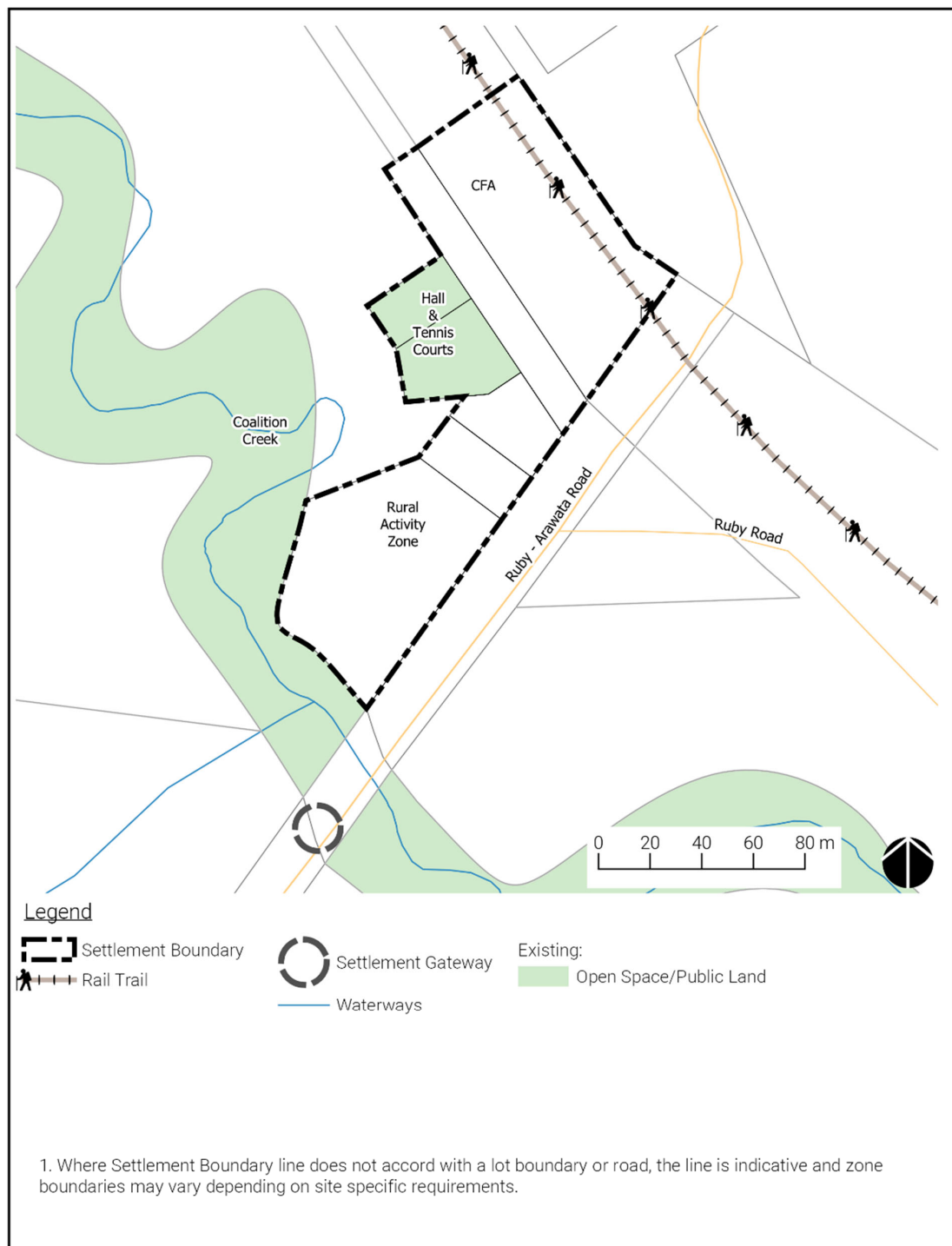
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Port Franklin framework plan



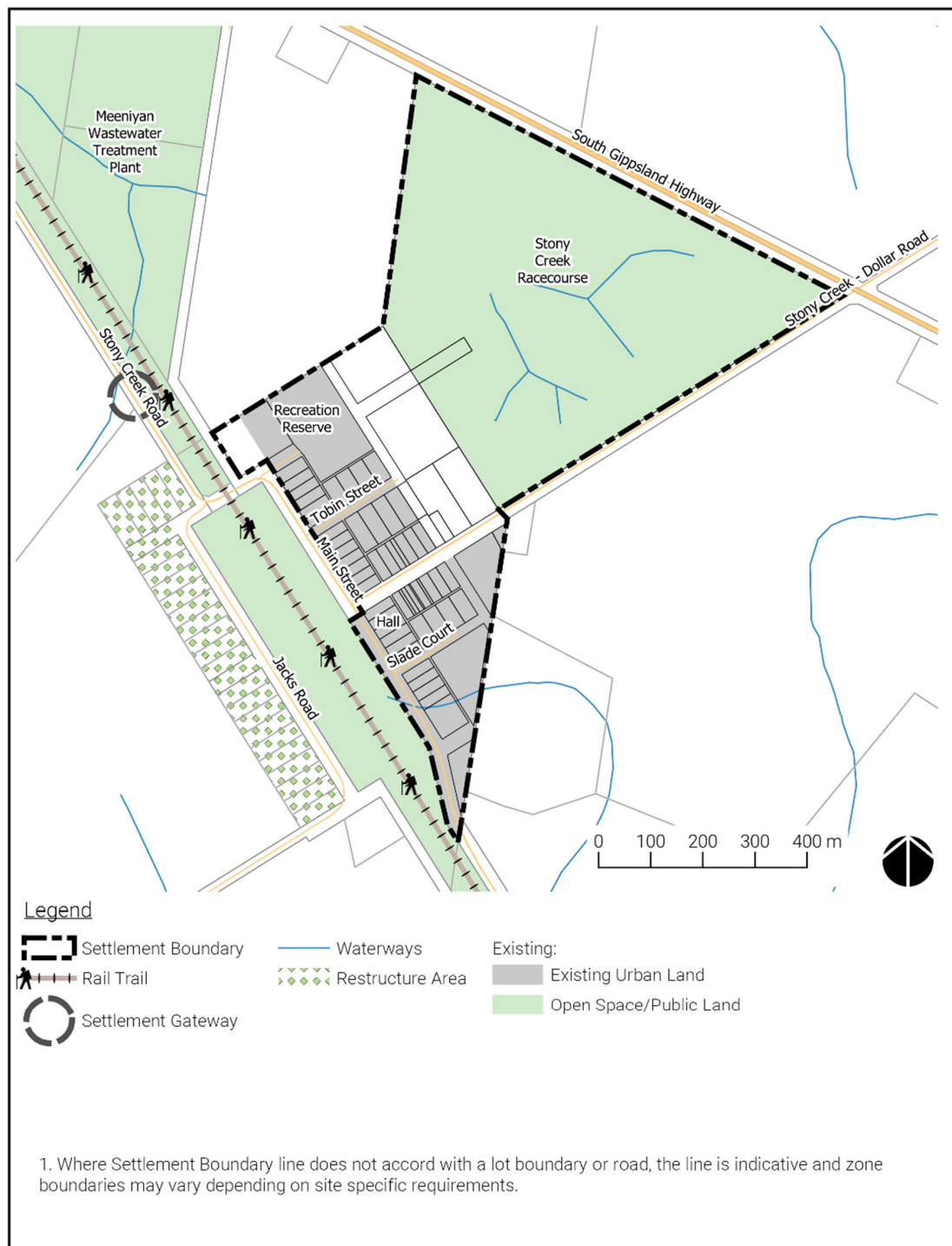
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Ruby framework plan



SOUTH GIPPSLAND PLANNING SCHEME
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Stony Creek framework plan



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11.01-1L-10 LOCALITIES – AGNES, ARAWATA, DARLIMURLA, HEDLEY, KARDELLA, NERRENA, STRZELECKI – SOUTH GIPPSLAND [COUNCIL-IDENTIFIED OMISSION] [TO RE-INSTATE POLICY INADVERTANTLY OMITTED THROUGH THE PPF TRANSLATION]

Policy application

This policy applies to the land identified on the Agnes, Arawata, Darlimurla, Headly, Kardella, Nerrena and Strzelecki framework plans that form part of this Clause. [to clearly identify the area to which the policy applies in accordance with PG]

Strategy

Contain growth within the settlement boundary of the localities shown on the framework plans. – [former 21.19-1, para 2] [to reinstate policy inadvertently omitted through the PPF translation. To move the maps for localities to the more logical location for applicants, which is the PPF.]

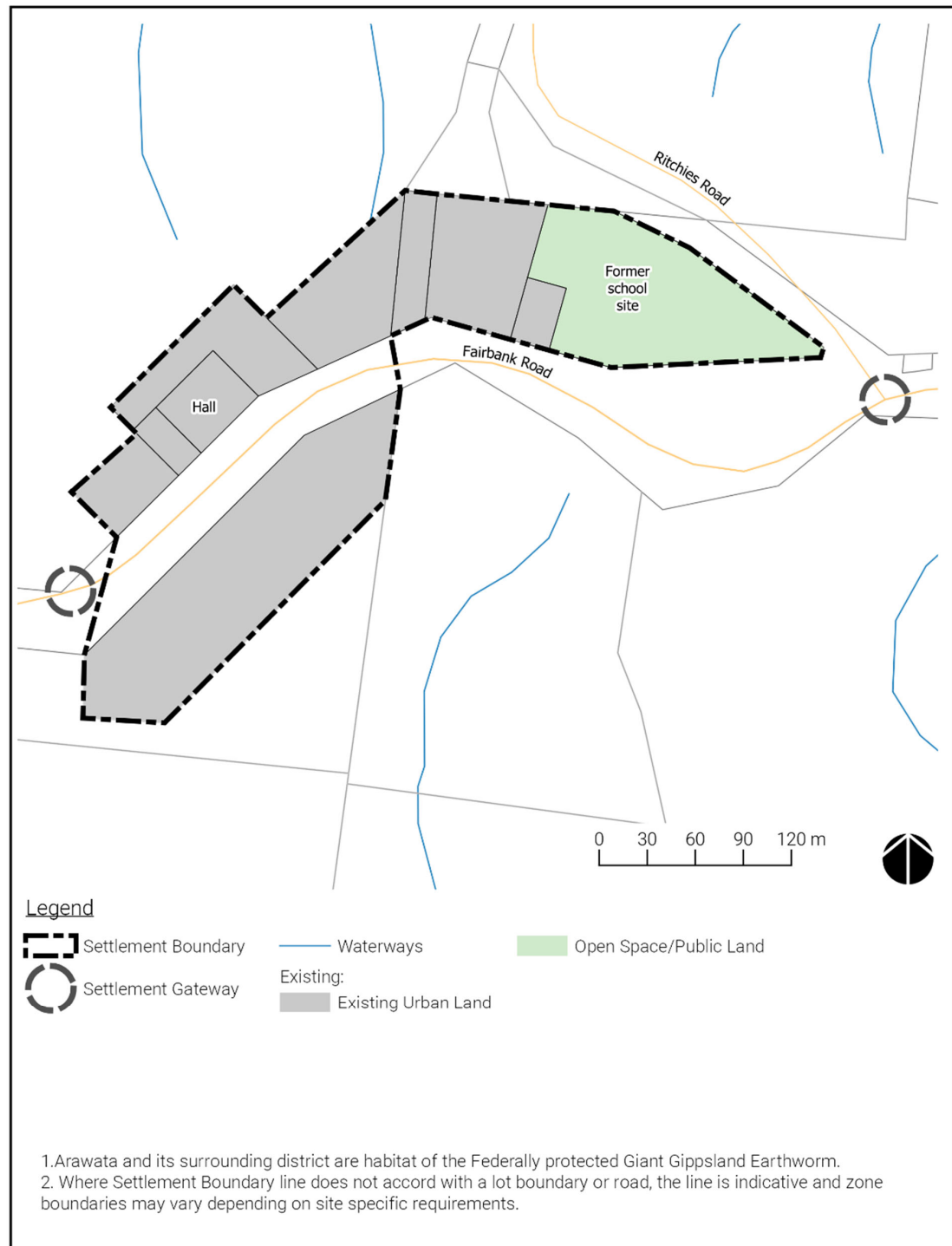
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Agnes framework plan [moved from 02.04 framework plans] [more appropriate as settlement-specific plan]



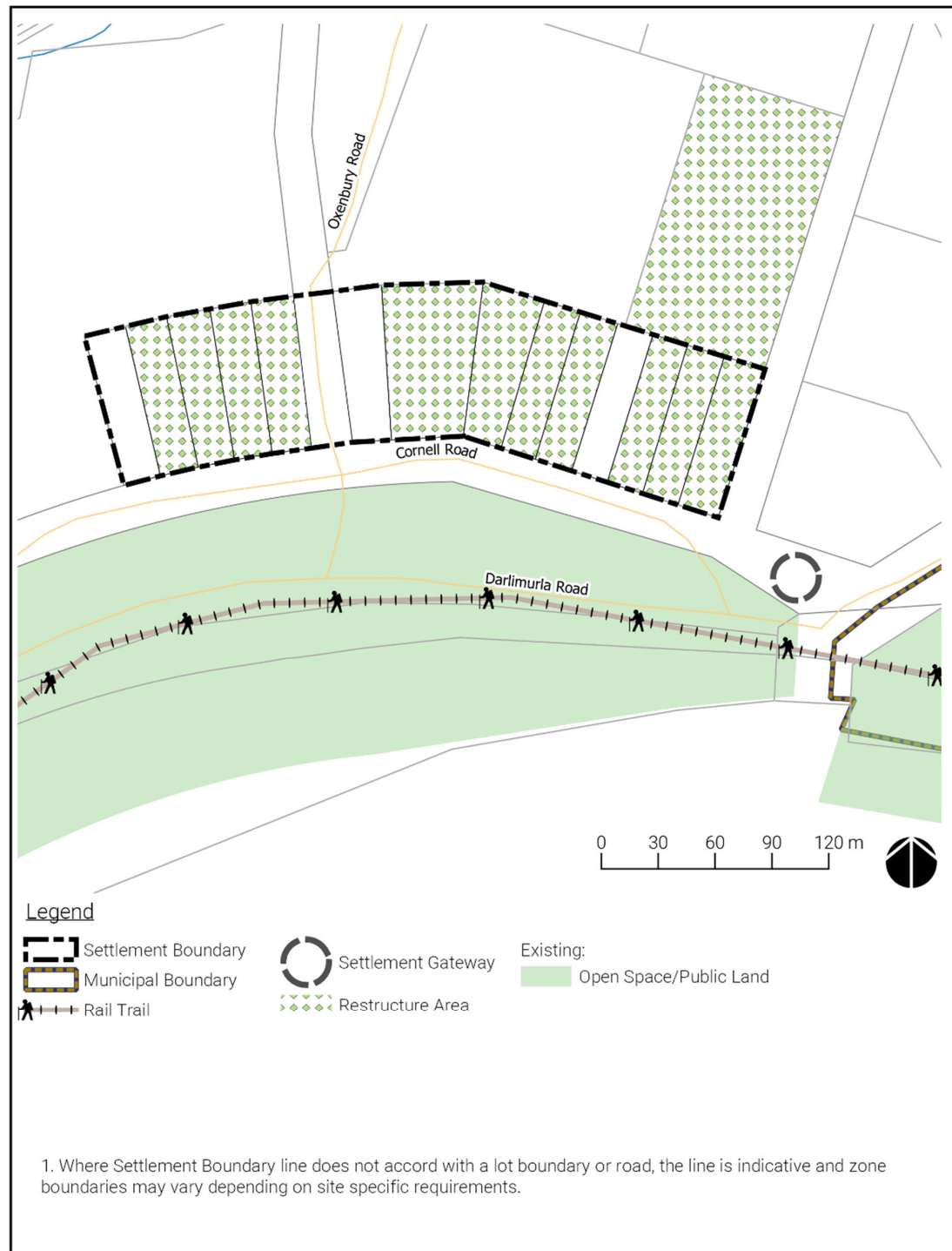
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[Arawata framework plan](#) [moved from 02.04 framework plans] [more appropriate as settlement-specific plan]



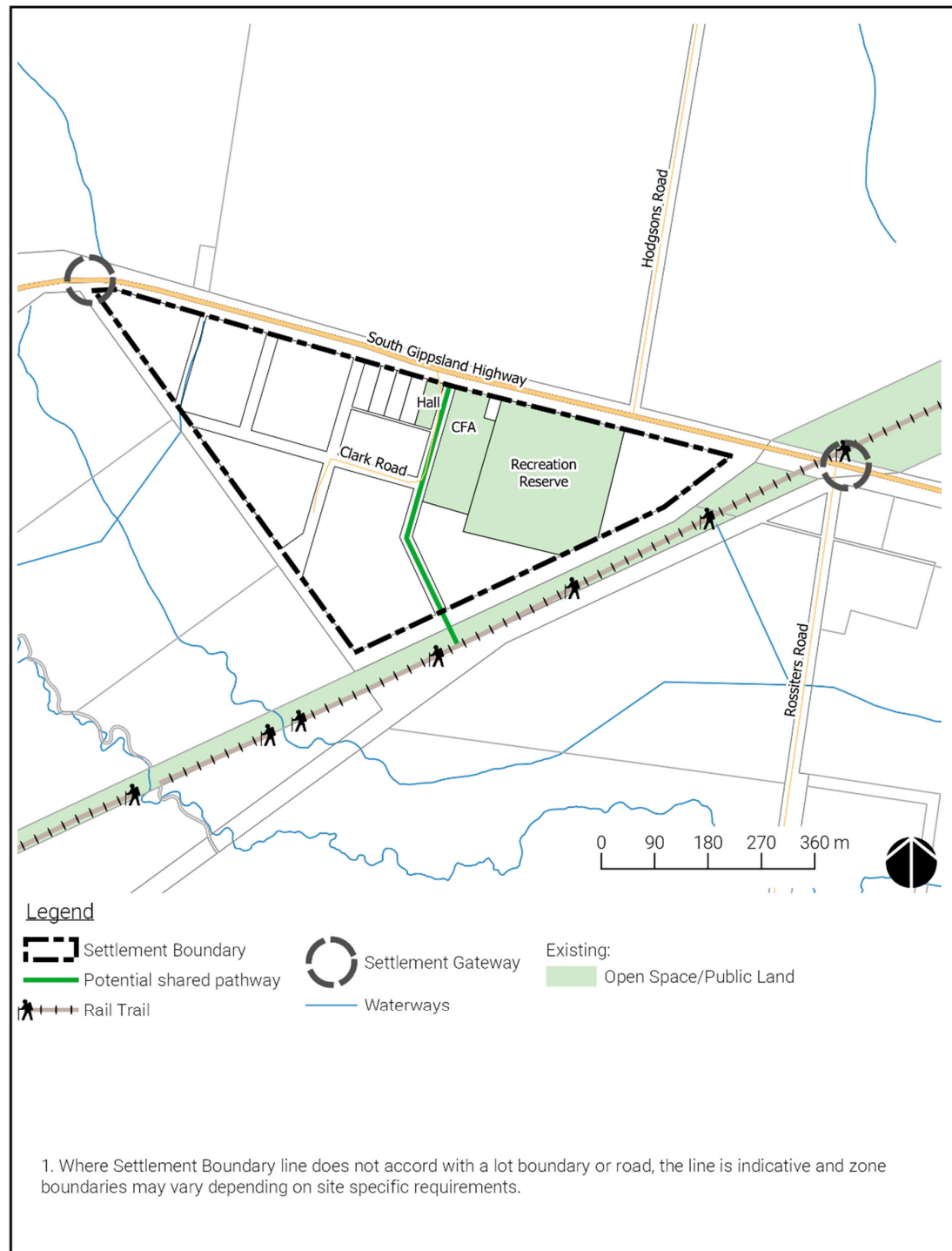
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[Darlimurla framework plan](#) [moved from 02.04 framework plans] [more appropriate as settlement-specific plan]



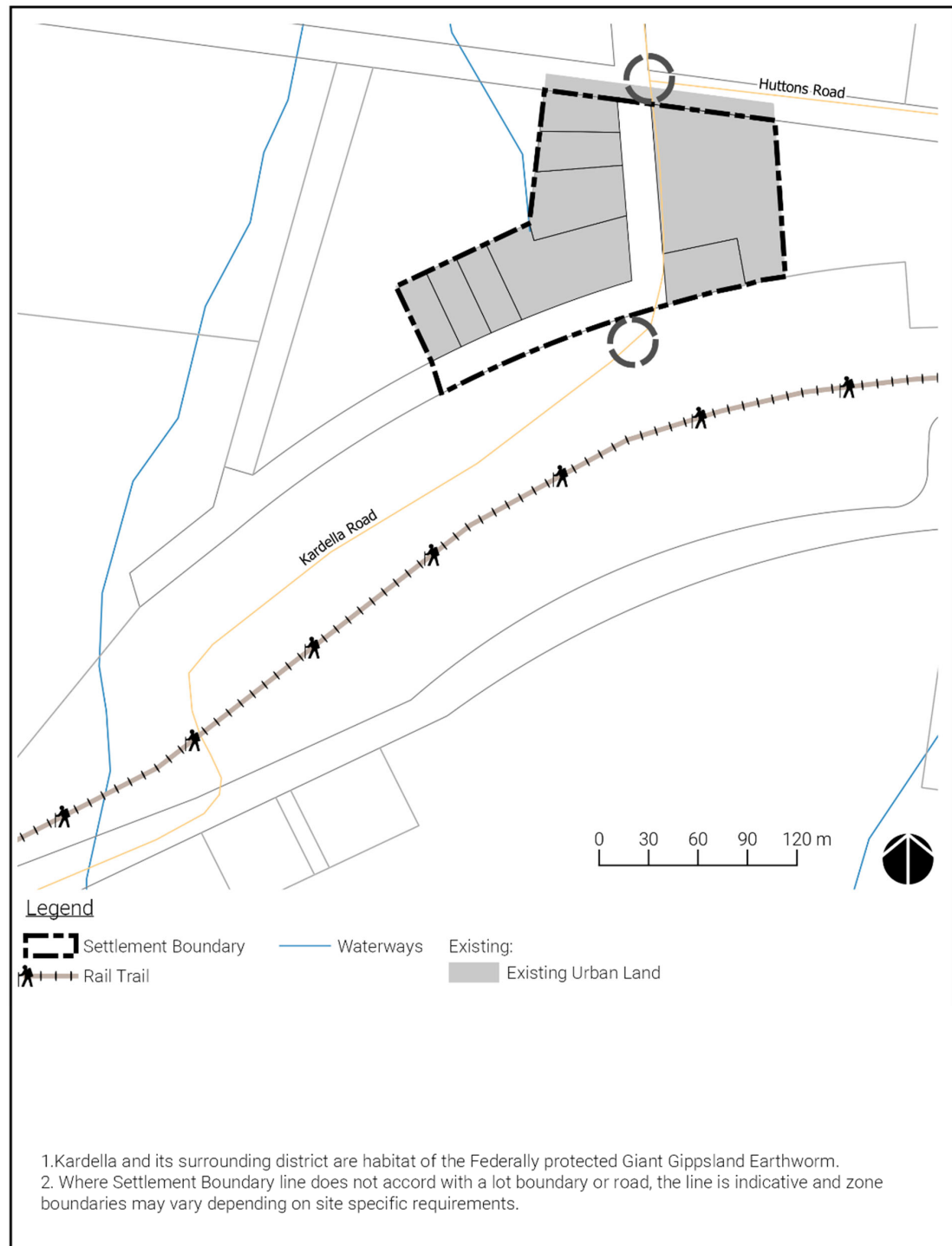
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Hedley framework plan [moved from 02.04 framework plans] [more appropriate as settlement-specific plan]



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Kardella framework plan [moved from 02.04 framework plans] [more appropriate as settlement-specific plan]



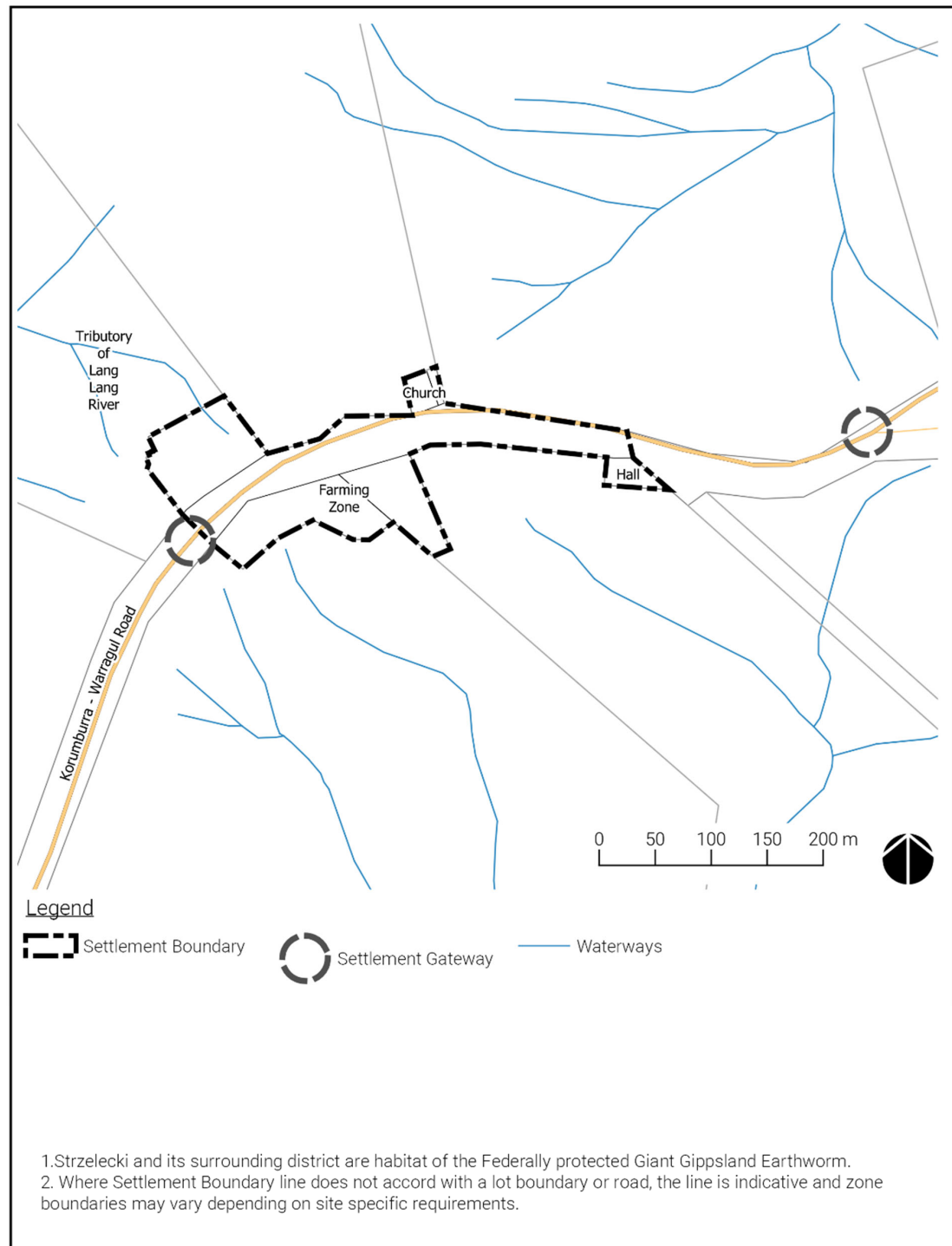
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Nerrena framework plan [moved from 02.04 framework plans] [more appropriate as settlement-specific plan]



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Strzelecki framework plan [moved from 02.04 framework plans] [more appropriate as settlement-specific plan]



12.01-1L BIODIVERSITY – SOUTH GIPPSLAND

C127sgjp 03/03/2022

Strategies

Encourage landholders to protect remnant vegetation on their land by fencing off areas of native vegetation and excluding stock.

Retain and enhance areas of remnant vegetation within urban areas.

Protect and enhance areas of indigenous and native vegetation where possible in development.

Support protection of Giant Gippsland Earthworm habitat and populations.

12.05-2L-01 COASTAL AND HINTERLAND LANDSCAPES – SOUTH GIPPSLAND

C127sgjp 03/03/2022

General strategies

Ensure that development is subordinate to the natural, visual and environmental landscape character and significance.

Protect views of Mt Hoddle, the Welshpool Hills and the Corner Inlet Amphitheatre and other hinterland areas by avoiding development in these areas that is visually intrusive, particularly when viewed from the South Gippsland Highway, as well as from other key touring routes, lookouts and residences.

Discourage development on prominent ridgelines, particularly those close to the coast. Where development cannot be avoided in steep locations or prominent hill faces:

- Site development in the lowest third of the visible slope wherever possible.
- Set buildings and structures among existing vegetation or establish gardens with locally indigenous species.
- Design buildings to follow the contours or step down the site to minimise earthworks.
- Articulate buildings into separate elements and avoid visually dominant elevations.

Encourage the planting of indigenous vegetation for rehabilitation works and landscaping around development.

Retain existing shelterbelts and non-indigenous feature planting where they are features of the area and the species are non-invasive.

Settlement edge strategies

Use existing landscape features, (for example topography, vegetation coverage, vistas) to define edges to settlements, protecting the surrounding landscape character.

Scale the height and form of new development at the coastal edge of settlements to be sensitive to surrounding development, the surrounding landform and the visual setting of the settlement, particularly when viewed from the foreshore.

Support a hierarchy of built form within coastal settlements, with lower buildings adjacent to the foreshore and higher buildings away from the foreshore.

Between settlement strategies

Retain the natural and undeveloped character of the coastal strip between settlements by:

- Avoiding or siting and designing development.
- Using colours and materials that minimise contrast with the surrounding landscape.

Retain a dominant natural character, particularly near the coast, by:

- Setting development back from the coast in flatter locations.
- Avoiding loss of vegetation.
- Minimising the visibility and impact of pedestrian and vehicular access paths and site servicing.

Between settlement policy guideline

Consider as relevant:

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- Whether the development is within 500 metres of the coast.

Hinterland strategies

Design buildings to respond to the natural setting in relation to siting, materials and colours to minimise visibility, particularly in prominent and highly visible locations and when viewed from main road corridors and key public use areas.

In open rural areas, ensure buildings are set back long distances from roads and/or group buildings in the landscape among substantial landscaping of indigenous or non-invasive exotic/native feature planting (including existing shelterbelts).

Maximise the undeveloped area of a lot and use permeable surfacing to support vegetation and minimise surface run-off.

Retain trees that form part of a continuous canopy and encourage trees to be planted in a position where they will add to a continuous canopy.

12.05-2L-02 SIGNIFICANT LANDSCAPE CHARACTER AREAS – SOUTH GIPPSLAND

C127sgjp 03/03/2022

Policy application

This policy applies to the land identified on the Landscape Character Area [plan that forms part of this Clausemap](#).

Character Area 1.3 – Bunurong Coast and Hinterland strategies

Retain clear views of the coastal dunes, cliffs and formations from coastal areas coastal roads.

Protect the character of the near-coastal hinterland by:

- Encouraging the progressive revegetation of rural land adjoining coastal reserves.
- Siting developments at long setback distances from the coast and out of view of key viewing locations.

Maintain extensive rural character outside settlements by siting:

- Development long distances apart, back from roads and amongst vegetation.
- Large-scale built development within or close to existing built areas to avoid dominance of built form over the open pastoral hinterland.

Character Area 1.4 – Tarwin Floodplain strategies

Protect locally significant views and vistas that contribute to the character of the Area, particularly expansive, open out views between Tarwin Lower and Venus Bay, and open views across Anderson Inlet.

Protect the flats between Townsend Bluff and Tarwin Lower from visually dominant development.

Retain the sense of uncluttered openness throughout the Character Area.

Ensure that, wWhere development on the flats cannot be avoided, use low scale building forms and appropriate materials and colours that are not highly visible are utilised, particularly from main road corridors. [to commence with PG approved verb]

Character Area 1.5 – Waratah Bay/Corner Inlet strategies

Protect the rural character and views that create a scenic ‘gateway’ to Wilsons Promontory, especially along Foster – Promontory Road, by restricting linear urban sprawl or the cluttering of built development.

Ensure that long stretches of the coastal strip remain free of development of any kind.

Reduce the visibility of buildings or structures, within the coastal strip, outside settlements.

Manage development at the Corner Inlet coastal edge to retain intact natural coastal character by:

- Restricting heights of dwellings.
- Using colours that blend with the natural environment.
- Clustering development at already developed centres (e.g. Port Welshpool).

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~~Contain-Restrict~~ [to commence with PG approved verb] linear residential expansion of Waratah Bay along access road and avoid exposure of built form above low dunes.

Minimise clutter of built elements throughout hinterland areas to protect the rural character.

Character Area 2.3 – Cape Liptrap strategies

Maintain the dominance of the natural landscape and vegetation on hill faces and ridges throughout Cape Liptrap.

Preserve the landscape setting for landmarks or features of cultural heritage significance, such as the Cape Liptrap Lighthouse and limestone kilns at Walkerville.

Design and site development in Walkerville/Walkerville South by:

- Minimising visual intrusion of development into public use areas on the beach.
- Maintaining continuous indigenous vegetation canopy.
- Reducing distant visibility through the use of darker colours / non-reflective materials.

~~Ensure Set~~ development ~~is set~~ [to commence with a PG approved verb] back from the cliff top/coast to retain a dominant natural character and views to coastal and near-coastal hinterland features.

Character Area 3.2 – Welshpool Hills and Mount Hoddle strategies

Limit development from locating on ridge tops and visually prominent hill faces, particularly slopes visible from the coast and coastal hinterland such as between Mount Hoddle and the municipal boundary with Wellington Shire.

Encourage development to be tucked into the inland rolling topography and away from prominent viewing locations and skylines.

~~Ensure Site~~ large scale infrastructure ~~is sited~~ outside [to commence with a PG approved verb] of the coastal viewshed wherever possible and away from prominent locations.

Character Area 4.1 – Venus Bay Dunes strategies

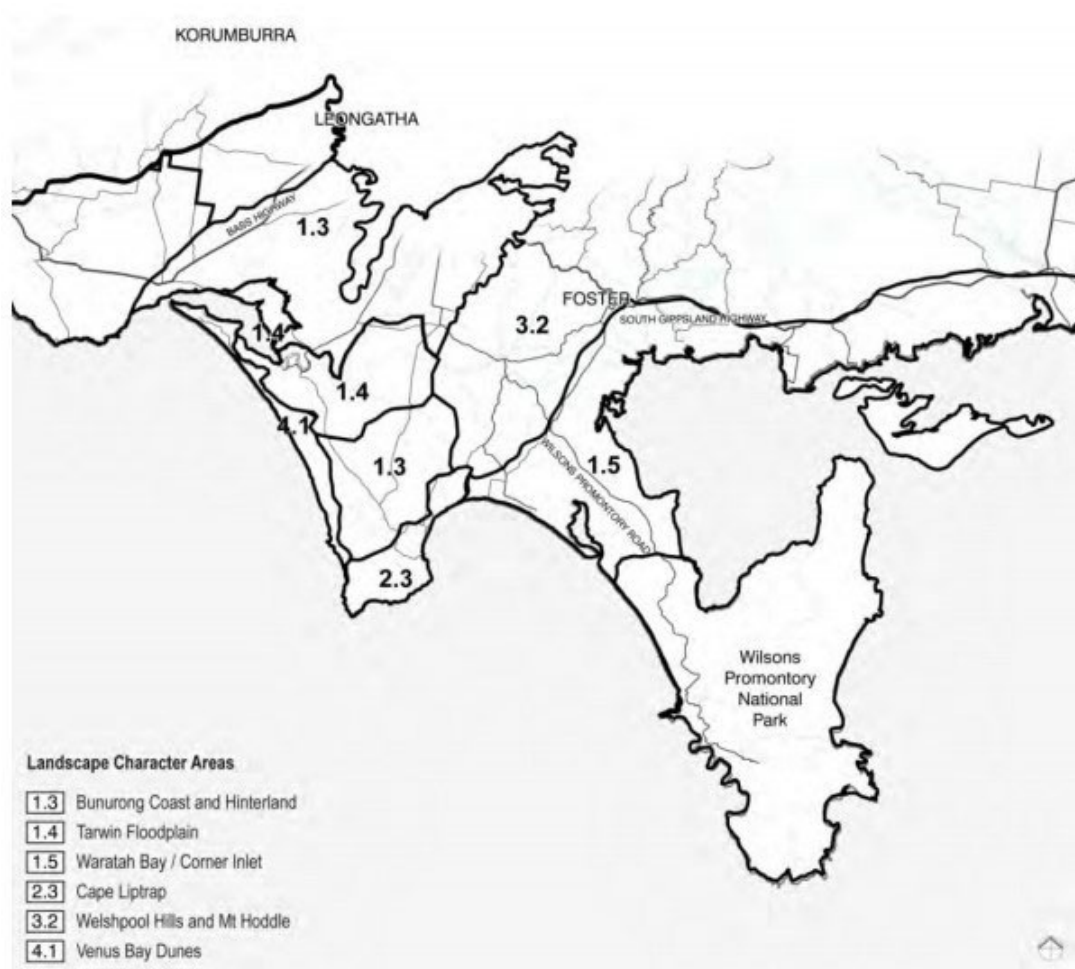
Retain the natural and undeveloped character of the Bass Strait coastal edge by avoiding buildings and structures outside settlement boundaries.

Enhance the dominant vegetated character of the Venus Bay Peninsula as viewed from Anderson Inlet.

~~Ensure Integrate~~ buildings ~~are integrated~~ [to commence with a PG approved verb] with their surroundings by using darker colours and landscaping to minimise contrast and distant visibility, particularly on the eastern edge of the Character Area.

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Landscape Character Area [mapplan](#)



13.02-1L BUSHFIRE PLANNING – SOUTH GIPPSLAND

Strategies

[Design use and development to provide more than one access route onto the public road network.](#)
[NEW VCAT analysis] [to help guide decision making in relation to a key issue for Council at VCAT]

14.01-1L-01 RURAL DWELLINGS – SOUTH GIPPSLAND

C127sgjp 03/03/2022

Policy application

This policy applies to applications for the use and development of dwellings in the Farming Zone on lots with an area of less than 40 hectares.

Strategies

Avoid dwellings that are for rural residential or lifestyle purposes and may conflict with the rural use of the land unless the [proposed](#) dwelling is on an existing small lot. [\[To clarify that it is not for existing dwellings\]](#).

Avoid dwellings unless:

- The dwelling is proposed in association with agriculture, is genuinely required to carry out a long-term agricultural activity on the land and will provide a net benefit to agricultural productivity.
- The dwelling is proposed on a lot that is predominantly occupied by remnant native vegetation.
- The agricultural activity requires the presence of a resident land manager.

Avoid dwellings that adversely impact:

- Any existing agricultural uses or activities on surrounding land.
- Environmental characteristics of the surrounding area.
- Rural character and landscape values of the area, including visual impact.
- Natural systems, water quality or water quantity in the locality.

Avoid dwellings in association with Grazing animal production or calf rearing.

Avoid dwellings in association with agricultural uses (other than Grazing animal production or calf rearing) unless:

- The dwelling is necessary for the operation of and secondary to the use of the land for agriculture.
- Any proposed agricultural use does not compromise the operation of adjacent or nearby agricultural activities.
- The agricultural use cannot be reasonably managed from an off-site location.

Policy guidelines

Consider as relevant:

- A small lot for rural residential or lifestyle purposes is 4.1 hectares or less.
- A lot that is predominantly occupied by remnant native vegetation is remnant native vegetation or regrowth over 15 years old and at least 50 per cent cover of the lot.
- The use of section 173 Agreements relating to the construction of supporting agricultural infrastructure.
- [The proposed staging and management plan for the farm, as prepared by a suitably qualified person.](#) [\[Council-identified omission\]](#) [\[to reinstate policy inadvertently omitted through the PPF translation\]](#)

14.01-1L-02 SECOND AND SUBSEQUENT DWELLINGS IN RURAL AREAS – SOUTH GIPPSLAND

C127sgjp 03/03/2022

Policy application

This policy applies to applications for the use and development of more than one dwelling on land in the Farming Zone.

Strategies

Avoid second or subsequent dwellings on lots unless they:

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- Are necessary to carry out a long term agricultural use on the land and provide a net benefit to agricultural activity.
- Will not adversely affect the operation of agricultural uses on the land or on surrounding land.
- Maintain the rural character, landscape and environmental values of the area.

Consolidate lots in order to ensure that the dwelling(s) remain connected to the agricultural use of the land.

Locate second or subsequent dwellings on multi-lot farming properties on the same lot as the existing dwelling.

Policy guidelines

Consider as relevant:

- Restrict second and subsequent dwellings on lots less than 40 hectares.
- The use of a section 173 Agreement to prevent the excision of a dwelling from the land through subdivision.
- [The proposed staging and management plan for the farm, as prepared by a suitably qualified person.](#) [Council-identified omission] [to reinstate policy inadvertently omitted through the PPF translation]

14.01-1L-03 RURAL DWELLINGS ON LOTS WITH REMNANT NATIVE VEGETATION –

SOUTH GIPPSLAND

C127sgjp 03/03/2022

Policy application

This policy applies to applications for use or development dwellings in the Farming Zone where the lot is at least 50 per cent covered by remnant native vegetation or regrowth over 15 years old.

Strategies

Support dwellings associated with the management of biodiversity and native vegetation only where:

- The lot is predominantly occupied by remnant native vegetation or regrowth where there is no or highly limited potential for an agricultural activity to occur.
- There is no or limited native vegetation removal required to facilitate the construction of a dwelling with associated bushfire protection measures, including those required to implement the defensible space and vehicle access requirements.

Policy guideline

Consider as relevant:

- The use of a restriction on title, section 173 Agreement or similar for the development and implementation of a land management plan that provides for the ongoing protection and management of the native vegetation and biodiversity on site. This also includes the ongoing vegetation management associated with maintaining defensible space.

14.01-1L-04 LAND USE AND DWELLINGS IN THE RURAL ACTIVITY ZONE – SOUTH

GIPPSLAND

C127sgjp 03/03/2022

Policy application

This policy applies to all land within the Rural Activity Zone.

General strategies

Encourage use or development to be:

- Of modest scale, that is consistent with the land size, surrounding uses and the ability to blend with the landscape.
- Subservient to the landscape so as not to detract from the quality of the landscape and environment.

Encourage use and development to be self-sufficient in the provision of relevant infrastructure.

Land use strategies

Encourage a diverse range of agricultural activities.

Encourage tourism use and development that is compatible with agricultural production and the environmental attributes of the area.

Discourage uses that can be reasonably accommodated in an urban zone.

Land use policy guidelines

Consider as relevant:

- Encouraging the following uses:
 - Agriculture.
 - Leisure and recreation.
 - Group accommodation associated with tourist or recreational activities (including backpacker accommodation, camping and caravan park, cabins, residential hotel / motel etc).
 - Restaurant (but only in association with a tourist / recreational activity).
 - Primary Produce sales.
 - Winery.
- Discouraging the following uses:
 - Cattle feedlot.
 - Convenience shop.
 - Intensive animal production.
 - Landscape and gardening supplies.
 - Manufacturing sales other than products made from local rural produce.
 - Place of assembly where land is to be used for more than 10 days in a calendar year.
 - Hotel.
 - Store.
 - Bar.
 - Timber production.

Dwellings strategies

Support dwellings:

- On small lots if they are in conjunction with a separate tourism venture on the lot.
- Where the location of the dwelling will not adversely affect the operation and expansion of adjoining and nearby agricultural uses.

Discourage dwellings in association with Grazing animal production, and calf rearing, on medium size lots.

Dwellings policy guidelines

Consider as relevant:

- A small lot as having an area of 4.1 hectares or less.
- A medium size lot as having an area of between 4.1 and 40 hectares.
- The use of a Section 173 Agreement to prevent the subdivision of the lot containing the dwelling.

Policy document

Consider as relevant:

- *South Gippsland Rural Land Use Strategy* (South Gippsland Shire Council, 2011)

14.01-1L-05 SUBDIVISION IN THE FARMING AND RURAL ACTIVITY ZONES – SOUTH GIPPSLAND

C127sgip 03/03/2022

Policy application

This policy applies to applications to subdivide land in the Farming Zone and the Rural Activity Zone.

Subdivision to accommodate existing dwellings strategies

Allow the subdivision of land to accommodate an existing dwelling only where:

- The existing dwelling is no longer reasonably required for the carrying out of agricultural activities in the long term.
- There are beneficial agricultural outcomes for the land by excising the dwelling.
- The excision of the dwelling is compatible with and will not reduce the potential for farming or other legitimate rural land uses on the land, adjoining land and the general area.
- It is a re-subdivision of existing land titles where that potential exists. Land from former road reserves, lots under the minimum lot size specified under the schedule to the zone created by consolidation or other subdivision process and historic lots on former inappropriate Crown settlements and townships cannot be used for this purpose.

Avoid dwelling excisions that increase the number of lots unless they:

- Provide no opportunity available for re-subdivision of the balance lot(s).
- Contain balance (remaining) lot(s) that is greater than the minimum lot size specified in the schedule to the zone.

Avoid further subdivision to accommodate another existing dwelling where a dwelling has already been excised.

Minimise the size of a dwelling lot to only that necessary for the dwelling and appurtenant structures, while maintaining an adequate distance around dwellings to limit impacts on agricultural activities.

Avoid excisions that result in 'axe-handle' or island style lots.

Avoid a house lot excision that is likely to lead to a concentration of lots that would change the general use and character of the rural area.

[Encourage the consolidation of rural lots in the Farming Zone. \[Council-identified omission\] \[to reinstate policy inadvertently omitted through the PPF translation\]](#)

Subdivision to accommodate existing dwellings policy guidelines

Consider as relevant:

- Restricting excisions to dwellings that have existed on the land on or before 16 December 1999.
- The use of a Section 173 Agreement for the excision of dwelling(s) that prevents the development of any additional dwelling on a balance lot(s) with an area of less than 40 hectares.
- The size of a dwelling lot for an excised dwelling (including appurtenant structures) to be no more than 2 hectares.
- [The proposed staging and management plan for the farm, as prepared by a suitably qualified person. \[Council requested changed\] \[requested change is reasonable and supported by the findings of this review\]](#)

Re-subdivision of existing lots without a dwelling strategies

Avoid the subdivision of existing lots unless it results the enhancement of existing or proposed agricultural activities.

Avoid subdivision of existing lots that create lots that are not viable for agricultural uses.

[Encourage the consolidation of rural lots in the Farming Zone. \[Council-identified omission\] \[to reinstate policy inadvertently omitted through the PPF translation\]](#)

Re-subdivision of existing lots without a dwelling policy guidelines

Consider as relevant:

- Allowing a lot that is under 4.1 hectares where it is for a non residential use.

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- The use of a Section 173 Agreement that prevents the development of any dwelling on a lot under 4.1 hectares.

Policy document

Consider as relevant:

- *South Gippsland Rural Land Use Strategy* (South Gippsland Shire Council, 2011)

14.01-2L-02 MARINE INDUSTRY AND FARM FORESTRY – SOUTH GIPPSLAND

C127sgjp 03/03/2022

Strategies

Support and facilitate the development of the marine industry, including uses such as wild harvest and aquaculture ventures, in appropriate locations where environmental impacts can be appropriately managed.

Support and facilitate the development of farm forestry in appropriate locations, such as land less suited to higher value agricultural production including dairy and crop raising.

15.01-1L-01 URBAN DESIGN – SOUTH GIPPSLAND

C127sgjp 03/03/2022

Strategies

Encourage a building design, layout and landscaping for all development, that respects the existing character and strategic context of the site, particularly at the highway entrances to ~~the towns~~ [clearer use of plain English] and settlement gateways.

Locate infrastructure away from highly scenic locations, key views and coastal locations, or underground wherever possible in the case of powerlines and other utility services.

Locate access tracks and other infrastructure in areas of low visibility, preferably in previously cleared locations.

Avoid the use of materials that contrast with the landscape.

~~Encourage Direct the use of~~ [to commence with a PG approved verb] vegetation to screen infrastructure from key viewing corridors and public use areas.

Encourage reticulated electricity to be provided using underground cabling.

15.01-1L-02 SIGNS – SOUTH GIPPSLAND

C127sgjp 03/03/2022

Policy application

This policy applies to all signs that require a permit.

Strategies

Discourage signs that do not relate to the use or development of the land on which they are sited (third party promotion signs).

Avoid visual clutter across the landscape, such as large, visually intrusive or brightly coloured signs and signs at settlement entrances and exits.

Design signs so that the:

- Size, design and colour of signs do not detract from the visual amenity of the surrounding environment.
- Location, design and size of signage compliments the architectural character of the building on which it is fixed.
- Sign does not dominate the building on which it is fixed or the land on which it is sited.

Discourage signs above parapets, fascias or rooflines of buildings.

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Limit the number of suspended under-verandah signs per shopfront to allow for equity to shop owners and visibility.

Discourage signs that obscure architectural features and detailing, windows and door openings or verandahs, particularly on buildings of identified heritage significance.

Encourage above-verandah signs to be mounted to the building upper fascia or parapet at right angles to the road, rather than mounted directly to a verandah.

Limit signs that project above the skyline or profile of a building.

Discourage pole signs that exceed the building height of adjacent buildings or project over a footpath or road formation.

Policy guidelines

Consider as relevant:

- Limiting suspended under-verandah signs to one per shopfront, except on large premises where the limit should be one per ten metres of shopfront.
- Discouraging home occupation signs that are illuminated or exceed one square metres in size.

15.01-2L-01 **RESIDENTIAL BUILDING DESIGN – SOUTH GIPPSLAND – RESIDENTIAL**

C127sgjp 03/03/2022

Policy application

This policy applies to all residential development that requires a planning permit. [to clearly articulate the group of discretions the policy applies to, in accordance with the PG]

Strategies

Design residential development in small towns to be sustainable and sympathetic to the existing character of these towns.

Orient and site dwellings and other accommodation to optimise the use of active solar energy generation, passive solar energy, energy efficiency principles and natural, year-round daylight.

Encourage the retention and planting of indigenous vegetation to:

- Screen dwellings and ancillary outbuildings from adjoining properties, roads and nearby public space.
- Assist in decreasing greenhouse gas emissions.

Encourage dwellings and accommodation to respond to the surrounding natural environment through siting, minimising cut and fill, and use of exterior building materials, finishes and colours that are non reflective and blend with the surrounding natural environment.

Site and design dwellings and other accommodation types to minimise the potential impacts of climate change, including factors such as water usage, thermal comfort, maintaining access and protection from environmental risks such as storms, inundation, erosion and bushfires.

15.01-2L-02 **INDUSTRIAL DEVELOPMENT DESIGN – SOUTH GIPPSLAND**

C127sgjp 03/03/2022

Policy application

This policy applies to all industrial development that requires a permit.

Strategies

Design industrial development to be:

- Safe and functional in its layout.
- Sympathetic to the appearance and amenity of the area.

Design industrial development to minimise adverse impacts on existing neighbouring uses.

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Design buildings and building additions so that their height and bulk enhances the visual amenity of the surrounding area.

Ensure ~~Set~~ buildings are set [to commence with PG approved verb] back from the frontage generally in line with the setback of buildings on adjoining properties.

Encourage all buildings and building additions to incorporate passive solar and energy efficient design principles in their siting and design.

Encourage external finishes of walls and roofs to be brick, stone, concrete, colour impregnated steel cladding or other non-reflective material.

Provide landscaping on sites that:

- Is used in place of fencing along the frontage.
- Is low maintenance.
- Uses indigenous vegetation.
- Screens areas where visibility for safety is not essential.
- Defines areas of pedestrian and vehicular movement.

Provide landscaping along boundaries of sites adjacent to a General Residential or Township Zone containing residential development to screen the activities on the site.

Encourage on-site infiltration trenches to be incorporated into landscaping areas to minimise stormwater run-off from the site.

Design industrial development to respond to the environmental context and address drainage, waste management and all forms of pollution.

Encourage the provision of shared infrastructure such as car parking, power and telecommunications.

Provide parking, loading, servicing and storage facilities to meet the needs of occupants.

Locate staff car parking areas and external storage areas at the rear of the site.

Ensure ~~Screen~~ external storage areas are screened [to commence with PG approved verb] from adjoining sites or nearby roads through the use of landscaping or fencing.

Design car parking areas so that vehicles are able to enter and exit the site in a forward motion.

Policy guidelines

Consider as relevant:

- Where no adjoining buildings exist, setting buildings back a minimum of seven metres from the site frontage.
- Siting and designing buildings to maximise the use of natural light and solar energy.
- Encouraging north-facing windows to maximise solar efficiency.
- Encouraging fencing along the frontage of the site to be a minimum of fifty percent (50 per cent) transparent, not exceed 1.8 metres in height and be constructed out of non -reflective materials.
- Providing a minimum two metre wide strip of landscaping along the front title boundary (principal road frontage) of the site.
- Locating stockpiles at least 10 metres from drainage lines and surrounding them by batter(s) and silt fences.
- Locating customer car parking in the area of the site between the landscaping strip and building envelope.
- Sealing car parking and access areas, including loading & unloading areas, with an all weather surface, such as asphalt, concrete or brick pavement.
- Surfacing external storage areas in either a gravel or all-weather surface such as asphalt or concrete.

Policy document

Consider as relevant:

- *Leongatha Industrial Land Supply Study* (Meinhardt, 2013)

15.01-3L SUBDIVISION DESIGN – SOUTH GIPPSLAND**Strategies**

Restructure old and inappropriate subdivisions to:

- Create a more sustainable density of development.
- Limit new dwellings on vacant lots.
- Consolidate lots not suitable for the development of dwellings.
- Preserve the rural landscape. [move from 11.01-1L-01] [More appropriate as a subdivision strategy]

15.01-6L OPEN FARMED LANDSCAPES – SOUTH GIPPSLAND

C127sgjp 03/03/2022

Strategy

Protect open farmed landscapes from inappropriate dwelling development by avoiding:

- Proliferation of dwellings.
- Development on ridgelines.
- Development that visually impacts on the landscape due to colour, building outline, size, mass, reflectivity, earthworks, vegetation clearance or siting.

15.03-1L HERITAGE – SOUTH GIPPSLAND

C127sgjp 03/03/2022

Policy application

This policy applies to all heritage places included in the Heritage Overlay.

General strategies

Facilitate buildings, works or subdivision where it will assist in the short or long term conservation of the place by:

- Maintaining, protecting, restoring, repairing or stabilizing significant fabric.
- Supporting the continued original use of the building by enabling it to be upgraded to meet present day requirements and standards, including improved energy efficiency.
- Allowing an alternative use (where this is permitted by the zoning or in accordance with the Heritage Overlay Schedule) when the original use of the building is no longer viable.

Demolition strategies

Discourage the demolition of a building or works that contribute to the significance of a heritage place.

Discourage the demolition of part of a building or works unless:

- The fabric to be removed is not of primary significance and its removal will not adversely affect the significance of the place.
- It will assist in the long term conservation of the place.

Development or works strategies

Encourage development that assists in revealing the significance of the place.

Discourage development that would alter, destroy or conceal any fabric that contributes to its significance, except where it can be demonstrated that any alteration is reversible.

Ensure that the siting, size, height, setback, materials, form and colour of new development are sympathetic to the elements that contribute to the significance of a heritage place, including its context.

Distinguish new development from heritage fabric whilst being sympathetic to the heritage context.

Discourage development that mimics or copies an earlier style.

Discourage buildings or works that will have an adverse effect upon a significant tree identified by the *South Gippsland Heritage Study* (2004), or any tree that contributes to the setting of a heritage place.

Policy document

Consider as relevant:

- *South Gippsland Heritage Study* (David Helms, 2004)

16.01-1L HOUSING SUPPLY ~~IN~~ SOUTH GIPPSLAND

C127sgjp 03/03/2022

Strategies

Encourage medium density housing close to the commercial centres of Leongatha, Korumburra, Foster and Mirboo North.

Locate dwellings on flat land close to retail, community and health services.

Design dwellings so that they can be adapted to meet changing lifecycle circumstances and the needs of diverse households.

Encourage the development of social housing where medical and community services are available, for diverse and special household needs (including low income households, people with disabilities) in Leongatha, Korumburra, Foster, Mirboo North and Meeniyan.

Support housing options with convenient access to secondary and further education, employment and transport for younger people.

Encourage nursing home accommodation in Principal, Large District and District towns where medical and aged care services are readily available.

Encourage the development of retirement villages, hostel accommodation and medium density housing to accommodate an ageing population.

Discourage the development of dwellings on small lots in old Crown township areas except where either:

- The land is zoned Township Zone or Rural Living Zone.
- The development is in accordance with the relevant Restructure Plan in the Schedule to Clause 45.05. [Move from 11.01-1L-01] [more appropriate as a housing strategy]

Policy guideline

Consider as relevant:

- Locating retirement villages, hostel accommodation and medium density housing on flat or gently sloping land within 400 metres of shops, health and community services.

16.01-2L HOUSING AFFORDABILITY - SOUTH GIPPSLAND**Objective**

To significantly increase access to affordable and social housing. [NEW SGSAHS, p19] [to implement adopted Council policy]

Strategies

Ensure affordable and social housing is included in residential developments. [NEW SGSAHS, p19, p12] [to implement adopted Council policy]

Provide affordable and social housing within walking distance of services and amenities. [NEW SGSAHS, p19] [to implement adopted Council policy]

17.01-1L DIVERSIFIED ECONOMY – SOUTH GIPPSLAND

C127sgjp 03/03/2022

Strategies

Encourage the development of meat processing facilities to support the local agricultural sector.

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Promote the Leongatha, Korumburra, Foster and Mirboo North industrial precincts as locations for manufacturing industries.

~~Support value adding opportunities associated with timber production to m~~Maximise the economic benefits of timber production to the municipality by supporting value adding opportunities. [to commence with a PG approved verb]

Encourage opportunities for the expansion of industry and the provision of related infrastructure.

Direct industrial uses to within existing industrial precincts.

Support the development and expansion of industrial use and port-related industries at Barry Beach.

Encourage the development of equine and horse racing related industries around Stony Creek.

Encourage industries that develop products from the reuse and recycling of industrial waste.

Encourage and promote niche industries such as the packaging and export of natural spring water.

17.02-1L **COMMERCIAL, OFFICE AND RETAIL USES – SOUTH GIPPSLAND**

[C127sgjp](#) 03/03/2022

Strategies

Discourage the establishment of office and retail developments outside existing commercial areas.

Encourage the redevelopment of existing retail facilities within town centres.

Support new retail facilities on key redevelopment sites within established town centres.

Support commercial development that enhances the amenity of the towns, is safe and functional in its layout.

Policy guideline

Consider as relevant:

- Providing a 15 year supply of commercial land supply.

17.03-1L **INDUSTRIAL LAND SUPPLY – SOUTH GIPPSLAND**

[C127sgjp](#) 03/03/2022

Strategies

Provide sufficient industrial land, including large lots in strategic locations for the expansion of food manufacturing businesses and new businesses, particularly in dairy related and value add industries.

Discourage encroachment of sensitive land uses on industrial uses, particularly where industrial noise, odour, lighting and truck movements may cause amenity concerns.

Policy guideline

Consider as relevant:

- Providing sufficient industrial land supply to allow for a minimum of 15 years growth.

17.04-1L **TOURISM – SOUTH GIPPSLAND**

[C127sgjp](#) 03/03/2022

Strategies

Encourage outdoor education and adventure type tourism activities.

Support the development of larger scale tourism infrastructure capable of attracting year round visitation, such as conference centres and major accommodation venues, in appropriate locations, including within settlement boundaries and at locations that are close to Wilsons Promontory.

Encourage accommodation uses for rail trail users close to and accessible from the rail trails.

Facilitate the provision of public transport and flexible transport services appropriate for users of the rail trails.

Facilitate the provision of services and facilities to support rail trail users in settlements along the rail trail.

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Encourage small-scale tourism within the Township Zones in the Villages and Hamlets that complement the natural environment, agricultural and landscape values of the region and takes advantage of proximity to tourist routes and access to the Great Southern Rail Trail.

[Support improved visitor accommodation that encourages tourists to visit and remain longer in the region. \[NEW SGCP, p17\]](#) [to implement adopted Council policy]

Policy documents

Consider as relevant:

- *Economic Development and Tourism Strategy 2015-2020* (SGSC, 2015)
- *South Gippsland Rural Land Use Strategy* (SGSC, 2011)

18.02-1L WALKING – SOUTH GIPPSLAND

[Enhance the network of trails and footpaths to improve pedestrian accessibility and flow to create all-ability connections between towns, tourism sites, health services and within local neighborhoods. \[NEW SGCP, p13\]](#) [to implement adopted Council policy]

18.02-4L ROAD SYSTEM – SOUTH GIPPSLAND

C127sgip 03/03/2022

Strategies

~~Discourage the use and development of land that would prejudice the safety and efficiency of roads. [Duplicates 18.01.1S & 18.02-4S]~~

Encourage the development of road underpasses for the movement of stock.

18.02-5L FREIGHT – SOUTH GIPPSLAND

C127sgip 03/03/2022

Strategies

Ensure that adequate provision is made for transport interchange facilities in proximity to the highway network.

Facilitate the development of a deep-water port at Barry Point to open up opportunities for linkages to national and international markets.

Facilitate the use and expansion of the terminal facility at Port Welshpool for recreation, passenger and freight activities.

18.02-7L LEONGATHA AERODROME/AIRPORT – SOUTH GIPPSLAND

C127sgip 03/03/2022

Strategies

Encourage aviation-related industrial and commercial activities that support the provision of regular freight and passenger services from Leongatha Aerodrome.

Ensure that Aerodrome Road is upgraded in association with large scale expansion of the Aerodrome.

19.01-2L ALTERNATIVE ENERGY SOURCES – SOUTH GIPPSLAND

C127sgip 03/03/2022

Strategies

Discourage structures associated with alternative energy production that detrimentally affect the character of the area.

Discourage tall structures on ridgelines or in view corridors.

Minimise the potential impact of alternative energy sources on public health and safety, including fire hazard.

19.02-1L HEALTH FACILITIES – SOUTH GIPPSLAND

C127sgip 03/03/2022

Strategy

Support and promote the development of preventive health facilities and services as well as acute health care facilities and services.

Policy document

Consider as relevant:

- *South Gippsland Municipal Public Health and Wellbeing Plan (SGSC, 2013)*

19.02-2L EDUCATION FACILITIES – SOUTH GIPPSLAND

C127sgip 03/03/2022

Strategies

Encourage the retention and improvement of existing education facilities.

Facilitate the development of Leongatha as the centre for education, as a means of attracting and retaining tertiary and technical training programs.

19.02-4L COMMUNITY FACILITIES – SOUTH GIPPSLAND

C127sgip 03/03/2022

Strategies

Provide a range of health, recreational support and social facilities to maintain the independence and wellbeing of older persons.

Encourage the provision of adaptable community facilities that can be used by a range of user groups within the Shire.

Facilitate the provision of a range of family and childcare facilities across the Shire.

Encourage the provision of multi-purpose meeting venues for use by community groups.

Support upgrades to amenities at existing leisure and recreation facilities to improve physical access and use.

19.03-2L INFRASTRUCTURE DESIGN AND PROVISION – SOUTH GIPPSLAND

C127sgip 03/03/2022

Strategy

Provide a consistent approach to the design and construction of infrastructure across the municipality.

Policy guideline

Consider as relevant:

- The *Infrastructure Design Manual* (Local Government Infrastructure Design Association, [2020/2022](#)) or an approved precinct structure plan for subdivision and development. [[current version](#)]

Policy document

Consider as relevant:

- The *Infrastructure Design Manual* (Local Government Infrastructure Design Association, [2020/2022](#)) [[current version](#)]

19.03-3L INTEGRATED WATER MANAGEMENT – SOUTH GIPPSLAND

C127sgip 03/03/2022

Strategies

Support provision of reticulated sewerage to un-serviced townships.

Progressively upgrade wastewater disposal and drainage infrastructure for existing development to current standards.

Promote the use of new technology in wastewater system design, testing and management.

Encourage the use of best practice water sensitive urban design measures for new developments.

Policy guideline

Consider as relevant:

- Establishing artificial wetlands, retention basins and stormwater pollution traps to control the quality and quantity of stormwater run-off from urban areas.

19.03-4L TELECOMMUNICATIONS CONDUITS – SOUTH GIPPSLAND

[C127sgjp](#) 03/03/2022

Policy application

This policy applies to an application to subdivide land.

Objective

To facilitate broadband telecommunications services in a timely, efficient and cost effective manner and provide a network of open access conduits for optical fibre cabling.

Strategies

Encourage new subdivision to provide open access underground conduits to carry optical fibre at the development stage, where warranted.

Vest ownership of conduits in Council and allow them to be transferred to another agency or a telecommunications carrier at a later date.

Provide easements in favour of Council where conduits cross private land.

19.03-5L WASTE MANAGEMENT – SOUTH GIPPSLAND

[C127sgjp](#) 03/03/2022

Strategies

Provide for one central landfill at Koonwarra and transfer stations in appropriate locations throughout the Shire.

Ensure that landfills are rehabilitated at the completion of their life span.

Policy document

Consider as relevant:

- *Infrastructure Design Manual* (Local Government Infrastructure Design Association, 2020)

SCHEDULE 1 TO CLAUSE 32.03 LOW DENSITY RESIDENTIAL ZONE

C121sgjp 25/07/2019

Shown on the planning scheme map as **LDRZ1**. [to comply with MD]**1.0 Subdivision requirements**

C121sgjp 25/07/2019

	Land	Area (hectares)
Minimum subdivision area (hectares)	None specified	

2.0 Outbuilding permit requirements

C121sgjp 25/07/2019

Dimensions above which a permit is required to construct an outbuilding (square metres)
None specified.

SCHEDULE 1 [TO COMPLY WITH MD] TO CLAUSE 32.04 MIXED USE ZONE

C121sgjp 25/07/2019

Shown on the planning scheme map as **MUZ1**. [to comply with MD]**SOUTH GIPPSLAND MIXED USE AREAS****1.0 Objectives**

VC100 15/07/2013

None specified.

2.0 Clause 54 and Clause 55 requirements

VC100 15/07/2013

	Standard	Requirement
Minimum street setback	A3 and B6	None specified
Site coverage	A5 and B8	None specified
Permeability	A6 and B9	None specified
Landscaping	B13	None specified
Side and rear setbacks	A10 and B17	None specified
Walls on boundaries	A11 and B18	None specified
Private open space	A17	None specified
	B28	None specified
Front fence height	A20 and B32	None specified

3.0 Maximum building height requirement

VC100 15/07/2013

None specified.

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4.0 Exemption from notice and review

VC100 15/07/2013

None specified.

5.0 Application requirements

VC100 15/07/2013

None specified.

6.0 Decision guidelines

C121sgip 25/07/2019

None specified.

SCHEDULE 1 TO CLAUSE 32.05 TOWNSHIP ZONE

C121sgip 25/07/2019

Shown on the planning scheme map as **TZ1**. [to comply with MD]

SOUTH GIPPSLAND TOWNSHIPS

1.0 Neighbourhood character objectives

C121sgip 25/07/2019

None specified.

2.0 Permit requirement for the construction or extension of one dwelling or a fence associated with a dwelling on a lot

C121sgip 25/07/2019

Is a permit required to construct or extend one dwelling on a lot of between 300 and 500 square metres?

No

Is a permit required to construct or extend a front fence within 3 metres of a street associated with a dwelling on a lot of between 300 and 500 square metres?

No

3.0 Clause 54 and Clause 55 requirements

C121sgip 25/07/2019

	Standard	Requirement
Minimum street setback	A3 and B6	None specified
Site coverage	A5 and B8	None specified
Permeability	A6 and B9	None specified
Landscaping	B13	None specified
Side and rear setbacks	A10 and B17	None specified
Walls on boundaries	A11 and B18	None specified
Private open space	A17	None specified
	B28	None specified
Front fence height	A20 and B32	None specified

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4.0 Maximum building height requirement for a dwelling or residential building

[C121sgjp](#) 25/07/2019

None specified.

5.0 Application requirements

[C121sgjp](#) 25/07/2019

None specified.

6.0 Decision guidelines

[C121sgjp](#) 25/07/2019

None specified.

SCHEDULE 1 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE

[C121sgjp](#) 25/07/2019

Shown on the planning scheme map as **GRZ1**.

SOUTH GIPPSLAND GENERAL RESIDENTIAL AREA

1.0 Neighbourhood character objectives

[C121sgjp](#) 25/07/2019

None specified.

2.0 Construction or extension of a dwelling or residential building - minimum garden area requirement

[C121sgjp](#) 25/07/2019

Is the construction or extension of a dwelling or residential building exempt from the minimum garden area requirement?

No

3.0 Permit requirement for the construction or extension of one dwelling or a fence associated with a dwelling on a lot

[C121sgjp](#) 25/07/2019

Is a permit required to construct or extend one dwelling on a lot of between 300 and 500 square metres?

No

Is a permit required to construct or extend a front fence within 3 metres of a street associated with a dwelling on a lot of between 300 and 500 square metres?

No

4.0 Requirements of Clause 54 and Clause 55

[C121sgjp](#) 25/07/2019

	Standard	Requirement
Minimum street setback	A3 and B6	None specified.
Site coverage	A5 and B8	None specified.
Permeability	A6 and B9	None specified.
Landscaping	B13	None specified.
Side and rear setbacks	A10 and B17	None specified.

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Walls on boundaries	A11 and B18	None specified.
Private open space	A17	None specified.
	B28	None specified.
Front fence height	A20 and B32	None specified.

5.0 Maximum building height requirement for a dwelling or residential building

[C121sgjp](#) 25/07/2019

None specified.

6.0 Application requirements

[C121sgjp](#) 25/07/2019

None specified.

7.0 Decision guidelines

[C121sgjp](#) 25/07/2019

None specified.

SCHEDULE TO CLAUSE 33.01 INDUSTRIAL 1 ZONE

[C121sgjp](#) 25/07/2019

1.0 Maximum leasable floor area requirements

[C121sgjp](#) 25/07/2019

Land	Maximum leasable floor area for Office (square metres)
None specified.	None specified.

SCHEDULE TO CLAUSE 33.03 INDUSTRIAL 3 ZONE

[C121sgjp](#) 25/07/2019

1.0 Maximum leasable floor area requirements

[C121sgjp](#) 25/07/2019

Land	Maximum leasable floor area for Office (square metres)
None specified.	None specified.

SCHEDULE TO CLAUSE 34.01 COMMERCIAL 1 ZONE

[C121sgjp](#) 25/07/2019

1.0 Maximum leasable floor area requirements

[C121sgjp](#) 25/07/2019

Land	Maximum leasable floor area for Office (square metres)	Maximum leasable floor area for Shop (other than Restricted retail premises) (square metres)
None specified.	None specified.	None specified.

SCHEDULE 1 TO CLAUSE 35.03 RURAL LIVING ZONE

[C121sgjp](#) 25/07/2019

[Provision has been split into three – one for each minimum lot size area – to comply with DTP advice and the MD]

Shown on the planning scheme map as **RLZ1**. [to comply with MD]

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1.0 Subdivision and other requirements

C125sgip 08/09/2022

	Land	Area/Dimensions/Distance
Minimum subdivision area (hectares).	All land except where specified on Map 1 or Map 2. All land specified on Map 1 of this schedule. All land specified on Map 2 of this schedule	1 hectare 4 hectares 2 hectares [to comply with MD]
Minimum area for which no permit is required to use land for a dwelling (hectares).	All land except where specified on Map 1 or Map 2. All land specified on Map 1. All land specified on Map 2.	1 hectare 4 hectares 2 hectares [to comply with MD]
Maximum floor area for which no permit is required to alter or extend an existing dwelling (square metres).	None specified	None specified
Maximum floor area for which no permit is required to construct an out-building associated with an existing dwelling (square metres).	None specified	None specified
Maximum floor area for which no permit is required to alter or extend an existing building used for agriculture (square metres)	None specified	None specified
Minimum setback from a road (metres).	None specified	None specified
Minimum setback from a boundary (metres).	None specified	None specified
Minimum setback from a dwelling not in the same ownership (metres).	None specified	None specified
Permit requirement for earthworks		Land
Earthworks which change the rate of flow or the discharge point of water across a property boundary.		None specified
Earthworks which increase the discharge of saline groundwater.		None specified

SCHEDULE 2 TO CLAUSE 35.03 RURAL LIVING ZONE [TO COMPLY WITH MD]

C121sgip 25/07/2019

Shown on the planning scheme map as **RLZ2**.

1.0 Subdivision and other requirements

C125sgip 08/09/2022

	Land	Area/Dimensions/Distance
Minimum subdivision area (hectares).	All land	4 hectares

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Minimum area for which no permit is required to use land for a dwelling (hectares).	All land	4 hectares
Maximum floor area for which no permit is required to alter or extend an existing dwelling (square metres).	None specified	None specified
Maximum floor area for which no permit is required to construct an out-building associated with an existing dwelling (square metres).	None specified	None specified
Maximum floor area for which no permit is required to alter or extend an existing building used for agriculture (square metres)	None specified	None specified
Minimum setback from a road (metres).	None specified	None specified
Minimum setback from a boundary (metres).	None specified	None specified
Minimum setback from a dwelling not in the same ownership (metres).	None specified	None specified
Permit requirement for earthworks		Land
Earthworks which change the rate of flow or the discharge point of water across a property boundary.		None specified
Earthworks which increase the discharge of saline groundwater.		None specified

SCHEDULE 3 TO CLAUSE 35.03 RURAL LIVING ZONE [TO COMPLY WITH MD]

C121sgip 25/07/2019

Shown on the planning scheme map as **RLZ3**.

1.0 Subdivision and other requirements

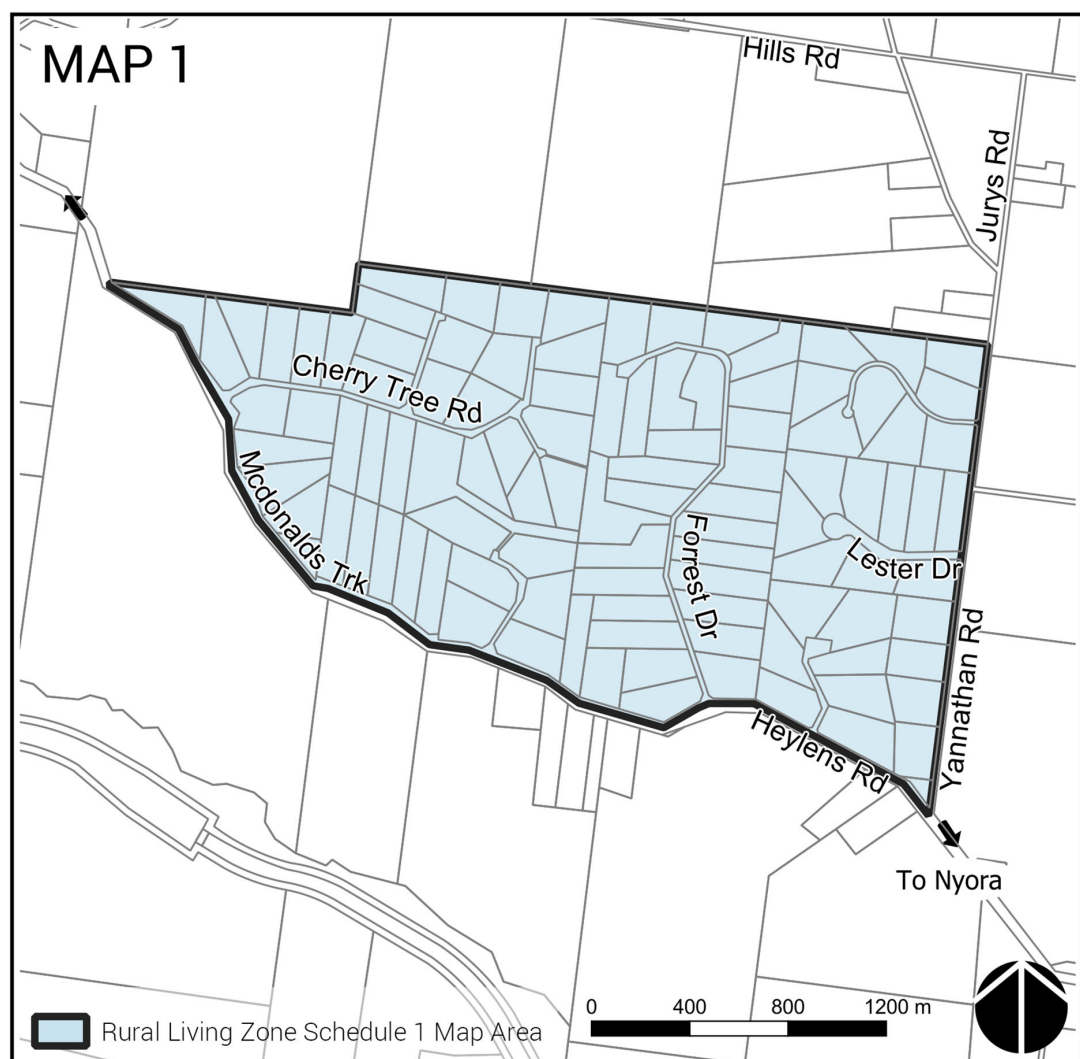
C125sgip 08/09/2022

	Land	Area/Dimensions/Distance
Minimum subdivision area (hectares).	All land	2 hectares
Minimum area for which no permit is required to use land for a dwelling (hectares).	All land	2 hectares
Maximum floor area for which no permit is required to alter or extend an existing dwelling (square metres).	None specified	None specified
Maximum floor area for which no permit is required to construct an out-building associated with an existing dwelling (square metres).	None specified	None specified
Maximum floor area for which no permit is required to alter or extend an existing building used for agriculture (square metres)	None specified	None specified
Minimum setback from a road (metres).	None specified	None specified

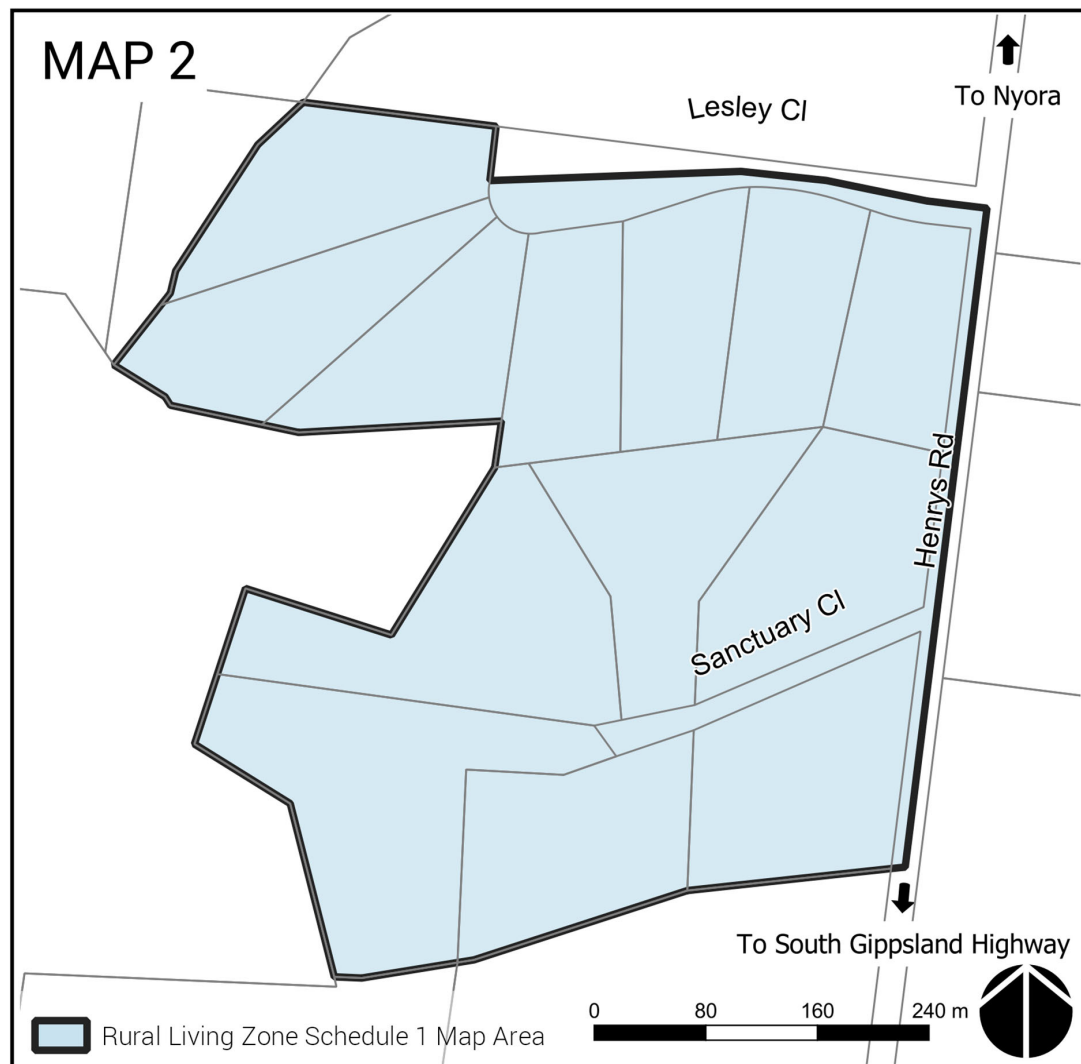
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<u>Minimum setback from a boundary (metres).</u>	<u>None specified</u>	<u>None specified</u>
<u>Minimum setback from a dwelling not in the same ownership (metres).</u>	<u>None specified</u>	<u>None specified</u>
<u>Permit requirement for earthworks</u>		<u>Land</u>
<u>Earthworks which change the rate of flow or the discharge point of water across a property boundary.</u>	<u>None specified</u>	
<u>Earthworks which increase the discharge of saline groundwater.</u>	<u>None specified</u>	

MAP 1 AND MAP 2 TO THE SCHEDULE TO CLAUSE 35.03.



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SCHEDULE 1 TO CLAUSE 35.06 RURAL CONSERVATION ZONE

[C121sgip](#) 25/07/2019

Shown on the planning scheme map as **RCZ1**. [\[to comply with MD\]](#)

CONSERVATION VALUES

Maintain the natural landscape features of the environment.

Continue the existing farming uses and discourage further urban expansion.

1.0

Subdivision and other requirements

[C121sgip](#) 25/07/2019

	nd	Area/Dimensions/Number
Minimum subdivision area (hectares).	All land	40 hectares
Maximum floor area for which no permit is required to alter or extend an existing dwelling (square metres).	None specified	None specified

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Maximum floor area for which no permit is required to construct an out-building associated with a dwelling (square metres).	None specified	None specified
Maximum floor area for which no permit is required to alter or extend an existing building used for agriculture (square metres).	None specified	None specified
Permit requirement for earthworks		Land
Earthworks which change the rate of flow or the discharge point of water across a property boundary.		None specified
Earthworks which increase the discharge of saline groundwater.		None specified

SCHEDULE 1 TO CLAUSE 35.07 FARMING ZONE

[C121sgjp](#) 25/07/2019

Shown on the planning scheme map as **FZ1**. [\[to comply with MD\]](#)

1.0

Subdivision and other requirements

[C125sgjp](#) 08/09/2022

	Land	Area/Dimensions/Distance
Minimum subdivision area (hectares).	All land	80 hectares
Minimum area for which no permit is required to use land for a dwelling (hectares).	All land	40 hectares
Maximum area for which no permit is required to use land for timber production (hectares).	None specified	None specified
Maximum floor area for which no permit is required to alter or extend an existing dwelling (square metres).	None specified	None specified
Maximum floor area for which no permit is required to construct an out-building associated with a dwelling (square metres)	None specified	None specified
Maximum floor area for which no permit is required to alter or extend an existing building used for agriculture (square metres).	None specified	None specified
Minimum setback from a road (metres).	A Transport Zone 2 or land in a Public Acquisition Overlay if: <ul style="list-style-type: none"> The Head, Transport for Victoria is the 	100 metres

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	<ul style="list-style-type: none"> acquiring authority; and The purpose of the acquisition is for a road. 	
	A Transport Zone 3 or land in a Public Acquisition Overlay if: <ul style="list-style-type: none"> The Head, Transport for Victoria is not the acquiring authority; and The purpose of the acquisition is for a road. 	40 metres
	Any other road	20 metres
Minimum setback from a boundary (metres).	Any other boundary	5 metres
Minimum setback from a dwelling not in the same ownership (metres).	Any dwelling not in the same ownership	100 metres
Permit requirement for earthworks		Land
Earthworks which change the rate of flow or the discharge point of water across a property boundary.		None specified
Earthworks which increase the discharge of saline groundwater.		None specified

SCHEDULE 1 TO CLAUSE 35.08 RURAL ACTIVITY ZONE

C121sgip 25/07/2019

Shown on the planning scheme map as **RAZ1**. [to comply with MD]

Purpose

- To provide for a range of land use and development that does not adversely affect surrounding uses.
- To recognise the need to strengthen and diversify the economic base of the Shire.
- To provide a flexible approach to the consideration of land use and development proposals to off-set the adverse effects of economic restructuring and climate change on the agricultural sector.
- To encourage opportunities that contribute to population stability and growth in the Shire.
- To recognise the natural beauty and "pure" image of the Shire.

1.0

Subdivision and other requirements

VC205 20/01/2022

	Land	Area/Dimensions/Distance
Minimum subdivision area (hectares).	All Land	80 hectares
Minimum area for which no permit is required to use land for timber production (hectares).	Land within the Significant Landscape overlay	40 hectares
	All Other Land	None specified
Maximum floor area for which no permit is required to alter or	None specified	None specified

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extend an existing dwelling (square metres).		
Maximum floor area for which no permit is required to construct an out-building associated with an existing dwelling (square metres)	None specified	None specified
Maximum floor area for which no permit is required to alter or extend an existing building used for agriculture (square metres).	None specified	None specified
Minimum setback from a road (metres).	A Transport Zone 2 or land in a Public Acquisition Overlay if: <ul style="list-style-type: none"> The Head, Transport for Victoria is the acquiring authority; and The purpose of the acquisition is for a road. 	100 metres
	A Transport Zone 3 or land in a Public Acquisition Overlay if: <ul style="list-style-type: none"> The Head, Transport for Victoria is not the acquiring authority; and The purpose of the acquisition is for a road. 	40 metres
Minimum setback from a boundary (metres).	Any other boundary	5 metres
Minimum setback from a dwelling not in the same ownership (metres).	All Land	100 metres
Permit requirement for earthworks		Land
Earthworks which change the rate of flow or the discharge point of water across a property boundary.		None specified
Earthworks which increase the discharge of saline groundwater.		None specified

SCHEDULE TO CLAUSE 36.01 PUBLIC USE ZONE

[C121sgjp](#) 25/07/2019

1.0

Permit exemptions and conditions

[C121sgjp](#) 25/07/2019

Public land	Use or development	Conditions
None specified.	None specified.	None specified.

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2.0 Advertising sign requirements

[C121sgip](#) 25/07/2019

Land	Advertising Sign Category
None specified.	None specified.

SCHEDULE TO CLAUSE 36.02 PUBLIC PARK AND RECREATION ZONE

[C121sgip](#) 25/07/2019

1.0 Permit exemptions and conditions

[C121sgip](#) 25/07/2019

Public land	Use or development	Conditions
None specified.	None specified.	None specified.

2.0 Sign requirements

[C121sgip](#) 25/07/2019

Land	Sign Category
None specified.	None specified.

3.0 Use and development of land specified in an Incorporated Plan

[C121sgip](#) 25/07/2019

None specified.

SCHEDULE TO CLAUSE 36.03 PUBLIC CONSERVATION AND RESOURCE ZONE

[C121sgip](#) 25/07/2019

1.0 Permit exemptions and conditions

[C121sgip](#) 25/07/2019

Public land	Use or development	Conditions
None specified.	None specified.	None specified.

2.0 Sign requirements

[C121sgip](#) 25/07/2019

Land	Sign Category
None specified.	None specified.

3.0 Use and development of land specified in an Incorporated Plan

[C121sgip](#) 25/07/2019

None specified.

SCHEDULE 1 TO CLAUSE 37.01 SPECIAL USE ZONE

[C121sgip](#) 25/07/2019

Shown on the planning scheme map as SUZ1.

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EARTH AND ENERGY RESOURCES INDUSTRY

Purpose

To recognise or provide for the use and development of land for earth and energy resources industry.

To encourage interim use of the land compatible with the use and development of nearby land.

To encourage land management practice and rehabilitation that minimises adverse impact on the use and development of nearby land.

1.0

Table of uses

[C121sgip](#) 25/07/2019

Section 1 - Permit not required	
Use	Condition
Extensive animal husbandry Home based business Informal outdoor recreation Minor utility installation Railway Tramway	
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01
Section 2 - Permit required	
Use	Condition
Agriculture (other than Animal keeping, Animal training, Apiculture, Extensive animal husbandry, Horse stables, and Intensive animal husbandry)	
Animal keeping (other than Animal boarding)	Must be no more than four animals.
Caretaker's house Dependent person's unit	
Industry (other than Materials recycling, Refuse disposal, and Transfer station)	Must not be a purpose listed in the table to Clause 53.10.
Landscape gardening supplies Leisure and recreation (other than Informal outdoor recreation) Manufacturing sales Materials recycling Place of assembly (other than Amusement parlour and Nightclub) Refuse disposal Transfer station Utility installation (other than Minor utility installation)	
Warehouse	Must not be a purpose listed in the table to Clause 53.10.
Any other use not in Section 1 or 3	

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Section 3 - Prohibited

Must not be a purpose listed in the table to ClauseUse

Accommodation (other than Caretaker's house and Dependent person's unit)
Amusement parlour
Animal boarding
Animal training
Brothel
Cinema based entertainment facility
Horse stables
Intensive animal husbandry
Nightclub
Office
Retail premises (other than Landscape gardening supplies and Manufacturing sales)
Saleyard
Service station
Transport terminal
Veterinary centre

2.0 Use of land

[C121sgip](#) 25/07/2019

None specified.

3.0 Subdivision

[C121sgip](#) 25/07/2019

None specified.

4.0 Buildings and works

[C121sgip](#) 25/07/2019

Permit requirement

No permit is required to construct a building or construct or carry out works for the following:

- ~~The requirement for a permit does not apply to the construction of a building or the construction or carrying out of works which are a~~ A modification necessary to comply with a direction or licence under the *Dangerous Goods Act 1985* or a Waste Discharge Licence, Works Approval or Pollution Abatement Notice under the *Environment Protection Act 1970*. [\[to comply with MD\]](#)

5.0 Signs

[C121sgip](#) 25/07/2019

None specified.

SCHEDULE 2 TO CLAUSE 37.01 SPECIAL USE ZONE

C121sgip 25/07/2019

Shown on the planning scheme map as **SUZ2**.**WARATAH PARK TOURIST FACILITY****Purpose**

To provide for the use of the land for the purpose of a tourist facility, incorporating a function centre, restaurant, accommodation and ancillary uses.

To ensure that the use and development of the tourist facility is sympathetic to the landscape and the environment of the locality.

To provide for the subdivision of the land to facilitate the development and coordinated management of accommodation associated with the tourist facility.

1.0**Table of uses**

C121sgip 25/07/2019

Section 1 - Permit not required	
Use	Condition
Apiculture	Must meet the requirements of the Apiary Code of Practice, May 1997.
Crop raising (other than Timber Production)	
Dependent person's unit	Must be the only dependent person's unit on the land. Must meet the requirements of Clause 2.0 of this schedule.
Extensive animal husbandry	
Home occupation	
Mineral exploration	Must meet the conditions of Clause 52.08-2
Mining	Must meet the conditions of Clause 52.08-2
Minor utility installation	
Natural systems	
Search for stone	Must not be costeaning or bulk sampling
Road	
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01 to comply with MD]
Section 2 - Permit required	
Use	Condition
Accommodation (other than a Dwelling, Caretaker's house or Dependant Person's Unit)	Must only be used for short term accommodation in conjunction with the Waratah Park Tourist Facility.
Caretaker's house	Must be the only caretaker's house on the land. Must only be used in conjunction with the Waratah Park Tourist Facility. Must meet the minimum requirements of Clause 2.0 of this schedule.

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Dwelling	Must be the only dwelling on the land. Must only be used as a permanent residence by the owners and/or managers of the Waratah Park Tourist Facility. Must meet the minimum requirements of Clause 2.0 of this schedule.
Function centre	
Restaurant	
Search for stone – If the Section 1 condition is not met	
Section 3 - Prohibited Use	
Any other use not in Section 1 or 2	

2.0

Use of land

C121sgjp 25/07/2019

Permit requirement to use the land for a tourist accommodation cabin or caretaker's house

An agreement under Section 173 of the *Planning and Environment Act 1987* must be entered into with the owner that:

- Prohibits the use of the tourist accommodation cabins for permanent accommodation.
- Requires that a tourist accommodation cabin must not be resided in by the owner or any other person for more than 31 consecutive days or more than 93 days per calendar year.
- The caretaker's house must only be used by a person/persons responsible for the management and security of the Wilsons Promontory Gateway Tourist Facility.

Application requirements

The following application requirements apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. [to comply with MD]

Unless the circumstances do not require, an application to use land for a tourist accommodation cabin must be accompanied by the following information, as appropriate:

- A land capability assessment and on-site wastewater management design report which includes an accurate assessment of the volume of waste likely to emanate from the use and the resultant environmental impact.
- The maximum number of persons proposed to be accommodated within each unit/cabin at any one time.
- The number of car parking spaces proposed to be provided per unit/cabin.
- A traffic and engineering report on access.
- Details of how access to each unit/cabin is to be provided via an all-weather road with dimensions adequate to accommodate emergency vehicles.
- A brief report explaining how the accommodation units/cabins will be managed and maintained.

Unless the circumstances do not require, an application to use land for a function centre or restaurant must be accompanied by the following information, as appropriate:

- A land capability assessment and on-site wastewater management design report which includes an accurate assessment of the volume of waste likely to emanate from the use and the resultant environmental impact.
- The proposed hours of operation.
- The maximum number of persons proposed to be accommodated on the site at any one time.

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- The number of car parking spaces proposed to be provided.
- How land not required for immediate use is to be maintained.

Exemption from notice and appeal

An application [for the use of land](#) ~~[to be precise about application of exemption, in accordance with MD]~~ is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1)(2) and (3) and the appeal rights of Section 82(1) of the Act.

Decision guidelines

~~The following decision guidelines apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority. Before deciding on an application to use land, the responsible authority must consider as appropriate:~~ [\[to comply with MD\]](#)

- Proposed hours of operation for the proposed function centre/restaurant.
- The availability of and connection to services.
- Method of on-site waste water treatment and disposal.
- The provision of car parking.
- The maintenance and management of the land.

3.0

Subdivision

[C121sgjp](#) 25/07/2019

Permit requirement

One lot may be created that contains the existing Waratah Park Tourist Facility manager's dwelling, function centre, restaurant, accommodation units and associated outdoor areas.

Other lots may be created that contain an existing tourist accommodation cabin or caretaker's house. Areas ancillary to each cabin (such as driveway access, car parking, waste water disposal areas and ancillary facilities) may be incorporated within common property on the plan of subdivision.

For each lot created that contains a tourist accommodation unit/cabin or a caretaker's house, an agreement under Section 173 of the *Planning and Environment Act 1987* must be entered into with the owner of each lot that:

- Prohibits the use and development of the land for any purpose other than a tourist accommodation cabin or caretaker's house in conjunction with the Waratah Park Tourist Facility.
- Prohibits the use and development of each lot for the purposes of permanent accommodation. In the case of the caretaker's house, the house must only be used by a person/persons responsible for the management and security of the tourist accommodation cabins.
- Requires that a tourist accommodation cabin must not be resided in by the owner or any other person for more than 42 consecutive days or more than 150 days per calendar year.
- Provides for the management and on-going maintenance of the land and facilities within the areas of common property.

The agreement must be registered on each title.

Vacant lots may be created, provided that a planning permit has first been issued for the use and development of the land for tourist accommodation cabins and caretaker's house in accordance with the provisions of sub-section 2.0 and 4.0 of this Schedule.

For each vacant lot created, an agreement under Section 173 of the *Planning and Environment Act 1987* must be entered into with the owner of each lot that:

- Prohibits the use or development of the land for any purpose other than a tourist accommodation cabin or caretaker's house in conjunction with the Waratah Park Tourist Facility.
- Requires the development of the land to be completed in accordance with an approved planning permit that has been issued under the provisions of this zone.
- Requires that a tourist accommodation cabin must not be resided in by the owner or any other person for more than 42 consecutive days or more than 150 days per calendar year.
- Provides for the management and on-going maintenance of the land and facilities within the areas of common property.

The agreement must be registered on each title.

Application requirements

The following application requirements apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. An application to subdivide land must be accompanied by the following information, as appropriate: [to comply with MD]

A plan drawn to scale which shows for each lot:

- The location and dimensions of existing development or proposed building envelopes, car parking areas and driveway access.
- The location and dimensions of wastewater treatment and disposal areas.
- Any areas of common property.
- A land capability assessment which demonstrates that each lot is capable of treating and retaining all waste water in accordance with the State Environment Protection Policy (Waters of Victoria) under the *Environment Protection Act 1970*.
- If a staged subdivision, show how the balance of the land may be subdivided.

Exemption from notice and appeal

An application for the subdivision of land [to be precise about application of exemption, in accordance with MD] is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1)(2) and (3) and the appeal rights of Section 82(1) of the Act.

Decision Guidelines

The following decision guidelines apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority. Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate: [to comply with MD]

- The capability of each lot and/or area of common property to treat and retain all waste water on-site in accordance with the State Environment Protection Policy (Waters of Victoria).
- The availability and provision of utility services, including electricity, drainage, water and communications.
- Measures to ensure that the proposed accommodation units/cabins are only used for short term accommodation in conjunction with the Waratah Park Tourist Facility and appropriate mechanisms are in place for the management and maintenance of each cabin and common property area.

4.0

Buildings and works

C121sgjp 25/07/2019

Permit requirement

A permit is required to construct a building or construct or carry out works.

Application requirements

The following application requirements apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. An application to construct a building or construct or carry out works must be accompanied by the following information, as appropriate: [to comply with MD]

- A site layout plan drawn to scale which shows:
 - The boundaries and dimensions of the site.
 - Adjoining roads.
 - Relevant ground levels.
 - The layout of existing and proposed buildings and works, including setbacks from boundaries of the site.

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- Location and dimensions of all access, internal driveways, car parking and loading areas.
- Proposed landscaping areas.
- All wastewater treatment and disposal areas.
- The location of a water supply for both domestic and fire fighting purposes.
- Any vegetation proposed to be removed, destroyed or lopped.
- Floor plans and elevations drawn to scale to show the height, exterior finishes and colour of all buildings and works.
- Surface treatment and construction details of all drainage works, driveways, vehicle parking and loading areas.
- A landscape plan that includes:
 - A planting schedule incorporating only locally indigenous species which includes the description and number of species proposed to be planted, proposed extent of vegetation community “net gain” and shelterbelt requirements.
 - A ten metre wide, double fenced, tree plantation adjacent to the eastern boundary of the site.
 - Surfaces to be constructed, a site works specification and method of preparing, draining, watering and maintaining the vegetation.

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority. Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate: [to comply with MD]

- The movement of vehicles providing for supplies, waste removal and emergency services.
- The location and dimensions of site access and car parking spaces.
- Outdoor lighting.
- Stormwater discharge.
- The external finishes of the buildings to ensure they blend with the surrounding environment.
- Measures to cope with fire.
- Landscape treatment.
- Any natural or cultural values on or near the land.

5.0

Signs

C121sgjp 25/07/2019

None specified.

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SCHEDULE 3 TO CLAUSE 37.01 SPECIAL USE ZONE

[C121sgip](#) 25/07/2019

Shown on the planning scheme map as **SUZ3**.

PORT AREAS

Purpose

To provide for the development of the Barry Beach Port as a key area of the State for the interchange, storage and distribution of goods.

1.0

Table of uses

[C121sgip](#) 25/07/2019

Section 1 - Permit not required	
Use	Condition
Apiculture Road Search for stone Tramway	Must meet the requirements of the <i>Apiary Code of Practice, May 1997</i> .
Mineral exploration Minor utility installation	
Mining	Must meet the conditions of Clause 52.08-2
Railway Road	
Search for stone	Must not be costeaning or bulk sampling
Tramway	
Wharf	
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01
Section 2 - Permit required	
Use	Condition
Transport Terminal (other than wharf) Industry Utility installation Warehouse	Must be directly associated with and reliant upon the port.
Any other use not in Section 1 or 3	
Section 3 - Prohibited	
Use	
Any other use not in Section 1 or 2	

2.0

Use of land

[C121sgip](#) 25/07/2019

Application requirements

The following application requirements apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. An application to use land must be accompanied by the following information, as appropriate: [to comply with MD]

A report which demonstrates a need or significant benefit for the use to establish close to the port or associated uses.

- The purpose of the use and the types of processes to be utilised.
- The type and quantity of goods to be stored, processed or produced.
- How land not required for immediate use is to be maintained.
- Whether a Works Approval or Waste Discharge Licence is required from the Environmental Protection Authority.
- Whether a licence under the Dangerous Goods Act 1985 is required.
- The likely effects, if any, on the neighbourhood, including:
 - Noise levels.
 - Air-borne emissions.
 - Emissions to land and water.
 - Traffic, including hours of delivery and dispatch.
 - Light spill or glare.

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority. Before deciding on an application to use land, the responsible authority must consider, as appropriate: [to comply with MD]

- The effect that the use may have on nearby existing or proposed uses for or associated with the port.
- The effect that nearby existing or proposed uses for or associated with the port may have on the proposed use.
- Whether there is a demonstrated need or significant benefit associated with any proposed industry, transport terminal, utility installation (other than minor utility installation) or warehouse, in it being located near port facilities or associated uses.
- The drainage of the land.
- The availability and connection of services.
- Provision of fire protection and other emergency services.
- The effect of traffic likely to be generated on roads including the need for traffic management plans and works to the satisfaction of the responsible authority to minimise any adverse impacts.

3.0 Subdivision

C121sgjp 25/07/2019

None specified.

4.0 Buildings and works

C121sgjp 25/07/2019

Permit requirement

A permit is not required for buildings and works which:

- Provide for navigational beacons or aids;
- Rearrange, alter, renew or maintain plant if the area or height of the plant is not increased;
- Comply with a directions or licence under the *Dangerous Goods Act 1985* or a Waste Discharge Licence, Works Approval or Pollution Abatement Notice under the *Environment Protection Act 1970*.
- Provide for railways, road or tramway;

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- Alter electrical or gas services or telephone lines;
- Alter plumbing services which do not affect the drainage of the land;
- All buildings and works must be maintained in good order and appearance to the satisfaction of the responsible authority.

Application requirements

The following application requirements apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. An application to construct a building or construct or carry out works must be accompanied by the following information, where appropriate: [to comply with MD]

- A plan drawn to scale which shows:
 - The boundaries and dimensions of the site.
 - Adjoining roads.
 - Relevant ground levels.
 - The layout of existing and proposed buildings and works.
 - The proposed use of all existing and proposed buildings.
 - The provision of on-site vehicle parking.
 - Loading and unloading areas.
 - Internal vehicle movements
 - Site entrance and exit points.
 - Proposed landscape areas.
 - External storage and waste treatment areas.
 - Features above or below water.
- Elevation drawings and plans (to scale) and information showing the profile and maximum heights of proposed buildings and equipment installations.
- Detailed plans and elevations for works associated with the development of any new wharf area.
- Details of materials, finish, colour of the external surfaces and coverings of buildings and works.
- Construction details of all drainage works, driveways and vehicle parking and loading.
- A landscape layout which includes the description of vegetation to be planted, the surfaces to be constructed, a site works specification and the method of preparing, draining, watering and maintaining the landscape area.
- Details relating to the staging of development and an appropriate time scale in which each stage of development should be completed.

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority. Before deciding on an application to construct a building or construct or carry out works, the responsible authority must consider, as appropriate: [to comply with MD]

- Any natural and cultural values on or near the land.
- The effect of the proposed development on future development of the land and adjoining area for port and port related uses.
- The effect that the development may have on environmental values in the waters of Corner Inlet, particularly on marine flora and fauna.
- Traffic generation and traffic management proposals.
- The adequacy of provision for parking and site access.
- The location and extent of loading, storage and service areas.
- The adequacy of existing roads and infrastructure to support the proposed development.

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- The built form and visual impact of the proposed development, including signage.
- The objectives and likely effectiveness of the proposed landscaping treatment.
- The adequacy of stormwater discharge.

5.0**Signs**

[C121sgip](#) 25/07/2019

Sign requirements are at Clause 52.05. All land located within this Schedule to this zone is in Category 2.

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SCHEDULE 4 TO CLAUSE 37.01 SPECIAL USE ZONE

C121sgjp 25/07/2019

Shown on the planning scheme map as **SUZ4**.

WILSONS PROMONTORY GATEWAY TOURIST FACILITY

Purpose

To provide for the use of the land for the purpose of a tourist facility, incorporating a function centre, restaurant, accommodation, retail facility and ancillary uses.

To ensure that the use and development of the tourist facility is sympathetic to the landscape and the environment of the locality.

To provide for the subdivision of the land to facilitate the development and coordinated management of accommodation associated with the tourist facility.

1.0

Table of uses

C121sgjp 25/07/2019

Section 1 - Permit not required	
Use	Condition
Crop raising (other than Timber production)	
Dependent person's unit	Must be the only dependent person's unit on the land. Must meet the requirements of Clause 2.0 of this schedule.
Extensive animal husbandry	
Home based business	
Minor utility installation	
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01
Section 2 - Permit required	
Use	Condition
Accommodation (other than a Dwelling, Caretaker's house or Dependant person's unit)	Must only be used for short term accommodation in conjunction with the Wilsons Promontory Gateway Tourist Facility.
Caretaker's house	Must be the only caretaker's house on the land. Must only be used in conjunction with the Wilsons Promontory Gateway Tourist Facility. Must meet the minimum requirements of Clause 2.0 of this schedule.
Exhibition centre	Must only be used in conjunction with the Wilsons Promontory Gateway Tourist Facility
Food and drink premises	Must only be used in conjunction with the Wilsons Promontory Gateway Tourist Facility
Function centre	Must only be used in conjunction with the Wilsons Promontory Gateway Tourist Facility
Interpretation centre	Must only be used in conjunction with the Wilsons Promontory Gateway Tourist Facility

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Museum	Must only be used in conjunction with the Wilsons Promontory Gateway Tourist Facility
Restaurant	Must only be used in conjunction with the Wilsons Promontory Gateway Tourist Facility
Shop (other than Adult sex product shop or Restricted retail premises)	Must only be used in conjunction with the Wilsons Promontory Gateway Tourist Facility.
Section 3 - Prohibited Use	
Any other use not in Section 1 or 2	

2.0

Use of land

C121sgjp 25/07/2019

Permit requirement to use the land for a tourist accommodation cabin or caretaker's house

An agreement under Section 173 of the *Planning and Environment Act 1987* must be entered into with the owner that:

- Prohibits the use of the tourist accommodation cabins for permanent accommodation.
- Requires that a tourist accommodation cabin must not be resided in by the owner or any other person for more than 31 consecutive days or more than 93 days per calendar year.
- The caretaker's house must only be used by a person/persons responsible for the management and security of the Wilsons Promontory Gateway Tourist Facility.

Application requirements

The following application requirements apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. Unless the circumstances do not require, an application to use land for a tourist accommodation cabin must be accompanied by the following information, as appropriate: [to comply with MD]

- A land capability assessment and on-site wastewater management design report which includes an accurate assessment of the volume of waste likely to emanate from the use and the resultant environmental impact.
- The maximum number of persons proposed to be accommodated within each unit/cabin at any one time.
- The number of car parking spaces proposed to be provided per unit/cabin.
- A traffic and engineering report on access.
- Details of how access to each unit/cabin is to be provided via an all-weather road with dimensions adequate to accommodate emergency vehicles.
- A brief report explaining how the accommodation units/cabins will be managed and maintained.

Unless the circumstances do not require, an application to use land for a function centre or restaurant must be accompanied by the following information, as appropriate:

- A land capability assessment and on-site wastewater management design report which includes an accurate assessment of the volume of waste likely to emanate from the use and the resultant environmental impact.
- The proposed hours of operation.
- The maximum number of persons proposed to be accommodated on the site at any one time.
- The number of car parking spaces proposed to be provided.
- How land not required for immediate use is to be maintained.

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Exemption from notice and appeal

An application for the use of land [to be precise about application of exemption, in accordance with MD] is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1)(2) and (3) and the appeal rights of Section 82(1) of the Act.

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority. Before deciding on an application to use land, the responsible authority must consider as appropriate: [to comply with MD]

- Proposed hours of operation for the proposed function centre/restaurant.
- The availability of and connection to services.
- Method of on-site waste water treatment and disposal.
- The provision of car parking.
- The maintenance and management of the land.

3.0

Subdivision

C121sgjp 25/07/2019

Permit requirement

Lots may be created that contain a tourist accommodation unit/cabin. Areas ancillary to each cabin (such as driveway access, car parking, waste water disposal areas and ancillary facilities) may be incorporated within the common property on the plan of subdivision.

For each lot created that contains a tourist accommodation unit/cabin or a caretaker's house, an agreement under Section 173 of the *Planning and Environment Act 1987* must be entered into with the owner of each lot that:

- Prohibits the use and development of the land for any purpose other than a tourist accommodation cabin or caretaker's house in conjunction with the Wilsons Promontory Gateway Tourist Facility.
- Prohibits the use and development of each lot for the purpose of permanent accommodation.
- The caretaker's house must only be used by a person ~~persons~~ responsible for the management and security of the tourist accommodation cabins.
- Requires that a tourist accommodation cabin must not be resided in by the owner or any other person for more than 31 consecutive days or more than 93 days per calendar year.
- Provides for the management and on-going maintenance of the land and facilities within the areas of common property.

The agreement must be registered on each title.

Vacant lots may be created, provided that a planning permit has first been issued for the use and development of the land for tourist accommodation cabins and caretaker's house in accordance with the provisions of sub-section 2.0 and 4.0 of this Schedule.

For each vacant lot created, an agreement under Section 173 of the *Planning and Environment Act 1987* must be entered into with the owner of each lot that:

- Prohibits the use or development of the land for any purpose other than a tourist accommodation cabin or caretaker's house in conjunction with the Wilsons Promontory Gateway Tourist Facility.
- Requires the development of the land to be completed in accordance with an approved planning permit that has been issued under the provisions of this zone.
- Requires that a tourist accommodation cabin must not be resided in by the owner or any other person for more than 31 consecutive days or more than 93 days per calendar year.
- Provides for the management and on-going maintenance of the land and facilities within the areas of common property.

The agreement must be registered on each title.

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Application requirements

The following application requirements apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. An application to subdivide land must be accompanied by the following information, as appropriate: [to comply with MD]

- A plan drawn to scale which shows for each lot:
 - The location and dimensions of existing development or proposed building envelopes, car parking areas and driveway access.
 - The location and dimensions of wastewater treatment and disposal areas.
 - Any areas of common property.
- A land capability assessment which demonstrates that each lot is capable of treating and retaining all waste water in accordance with the State Environment Protection Policy (Waters of Victoria) under the *Environment Protection Act 1970*.
- If a staged subdivision, show how the balance of the land may be subdivided.

Exemption from notice and appeal

An application for the subdivision of land [to be precise about application of exemption, in accordance with MD] is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1)(2) and (3) and the appeal rights of Section 82(1) of the Act.

Decision Guidelines

The following decision guidelines apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority. Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate: [to comply with MD]

- The capability of each lot and/or area of common property to treat and retain all waste water on-site in accordance with the State Environment Protection Policy (Waters of Victoria).
- The availability and provision of utility services, including electricity, drainage, water and communications.
- Measures to ensure that the proposed accommodation units/cabins are only used for short term accommodation in conjunction with the Wilsons Promontory Gateway Tourist Facility and appropriate mechanisms are in place for the management and maintenance of each cabin and common property area.
- Vehicle access via an all-weather road with dimensions adequate to accommodate emergency vehicles.

4.0

Buildings and works

C121sgjp 25/07/2019

Permit requirement

A permit is required to construct a building or construct or carry out works.

No accommodation or residential buildings are to be constructed on land with a natural surface below 5m Australian Height Datum.

Application requirements

The following application requirements apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. An application to construct a building or construct or carry out works must be accompanied by the following information, as appropriate: [to comply with MD]

- A site layout plan drawn to scale which shows:
 - The boundaries and dimensions of the site.
 - Adjoining roads.
 - Relevant ground levels.

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- The layout of existing and proposed buildings and works, including setbacks from boundaries of the site.
- Location and dimensions of all access, internal driveways, car parking and loading areas.
- Proposed landscaping areas.
- All wastewater treatment and disposal areas.
- The location of a water supply for both domestic and fire fighting purposes.
- Any vegetation proposed to be removed, destroyed or lopped.
- Floor plans and elevations drawn to scale to show the height, exterior finishes and colour of all buildings and works.
- Surface treatment and construction details of all drainage works, driveways, vehicle parking and loading areas.
- A report from a suitably qualified person addressing the possible presence of Coastal Acid Sulphate Soil on the site.
- A landscape plan that includes:
 - A planting schedule incorporating only locally indigenous species which includes the description and number of species proposed to be planted, proposed extent of vegetation community “net gain” and shelterbelt requirements.
 - A ten metre wide, double fenced, tree plantation adjacent to the eastern boundary of the site.
 - Removal and control of any weed species, as listed in the “Common Weeds of Gippsland – South Gippsland Shire” brochure or similar publication.
 - Surfaces to be constructed, site works specification and method of preparing, draining, watering and maintaining the vegetation.

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority. Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate: [to comply with MD]

General issues

- The movement of vehicles providing for visitors, supplies, waste removal and emergency services.
- The location and dimensions of site access and car parking spaces.
- Outdoor lighting.
- Stormwater discharge.
- The external finishes of the buildings to ensure they blend with the surrounding environment.
- Measures to cope with fire.
- Landscape treatment.
- Any natural or cultural values on or near the land.
- The creation of any new access to Corner Inlet is prohibited.

Environmental issues

- The impact of the proposal on the natural physical features and resources of the area, in particular on soil and water quality.
- The impact of the use or development on the flora, fauna and landscape features of the locality.
- The need to protect and enhance the biodiversity of the area, including the retention of vegetation and faunal habitat and the need to revegetate land including riparian buffers along waterways, gullies, ridgelines, property boundaries and saline discharge and recharge areas.
- The location of on-site effluent disposal areas and any on-site retention of stormwater to minimise the impact of nutrient loads on waterways and native vegetation.

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Design and siting issues

- The impact of the siting, design, height, bulk, colours and materials to be used, on the natural environment, major roads, vistas and water features and the measures to be undertaken to minimise any adverse impacts.
- The impact on the character and appearance of the area or features of architectural, historic or scientific significance or of natural scenic beauty or importance.
- The location and design of existing and proposed infrastructure including, roads, gas, water, drainage, telecommunications and sewerage facilities.
- Whether the use or development will require traffic management measures.

5.0**Signs**

[C121sgip](#) 25/07/2019

None specified.

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SCHEDULE 5 TO CLAUSE 37.01 SPECIAL USE ZONE

C121sgjp 25/07/2019

Shown on the planning scheme map as **SUZ5**.

SPI ELECTRICITY PTY LTD LEONGATHA DEPOT

Purpose

To promote the use and development of the the land consistent with the *SPI Electricity Pty Ltd Leongatha Depot 2013* Incorporated Document.

To provide for the continued use and development of the Leongatha Depot in a manner which minimises the impact on the amenity of the surrounding area.

1.0

Table of uses

C121sgjp 25/07/2019

Section 1 - Permit not required	
Use	Condition
Industry	Must be in accordance with the <i>SPI Electricity Pty Ltd Leongatha Depot 2013</i> Incorporated Document
Minor utility installation	
Office	Must be in accordance with the <i>SPI Electricity Pty Ltd Leongatha Depot 2013</i> Incorporated Document
Store	Must be in accordance with the <i>SPI Electricity Pty Ltd Leongatha Depot 2013</i> Incorporated Document
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01
Section 2 - Permit required	
Use	Condition
Any other use not in Section 1 or 3	Must be in conjunction with a Section 1 use
Section 3 - Prohibited	
Use	
All other uses	

2.0

Use of land

C121sgjp 25/07/2019

Use of land should comply with the Australian Radiation Protection & Nuclear Safety Agency (ARPANSA) standards (or any subsequent update by these agencies).

Application requirements

The following application requirements apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. An application to use land must be accompanied by a report describing the following, as appropriate:

- The purpose of the use and the types of activities which will be carried out.
- The likely effects, if any, on adjoining land, including noise levels, air-borne emissions, emissions to land and water, traffic, light spill and glare.

3.0 Subdivision

C121sgip 25/07/2019

None specified.

4.0 Buildings and works

C121sgip 25/07/2019

A permit is not required to construct a building or carry out works if undertaken in accordance with the *SPI Electricity Pty Ltd Leongatha Depot 2013* Incorporated Document.

Exemption from notice and review

An application under any provision of this scheme which is generally in accordance with the *SPI Electricity Pty Ltd Leongatha Depot 2013* Incorporated Document is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

Decision Guidelines

The following decision guidelines apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority. Before deciding on an application to use or subdivide land, construct a building or construct or carry out works or the approval of a plan prepared in accordance with the requirements of Clause 3.0 of this schedule, in addition to the Decision Guidelines in Clause 65, the responsible authority must consider, as appropriate: [to comply with MD]

- The *SPI Electricity Pty Ltd Leongatha Depot 2013* Incorporated Document.
- The views of South Gippsland Water.
- The interface with adjoining areas, especially the relationship with residential and recreation areas.
- The interface with the streetscape, including the location of access points at the property boundaries and the landscaping of land adjoining a road.
- The design and elevation treatment of buildings and their appurtenances.
- The illumination of buildings and their immediate spaces.
- The drainage of the land.
- The effect of traffic to be generated on roads.
- Provision for vehicles providing for supplies, waste removal and emergency services.

5.0 Signs

C121sgip 25/07/2019

Sign requirements are at Clause 52.05. All land located within this Schedule to this zone is in Category 2.

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SCHEDULE 6 TO CLAUSE 37.01 SPECIAL USE ZONE

C108 03/08/2017

Shown on the planning scheme map as **SUZ6**.

KOONWARRA AGRICULTURAL SERVICES PRECINCT

Purpose

- To provide for agricultural services that complement and have a nexus with the region's saleyards facility including supply, transport, maintenance and repairs to enhance agricultural production.
- To provide for activities within the zone that will not challenge the services and functions of nearby urban centres.
- To facilitate development which is visually sympathetic to the rural landscape especially when viewed from the highway.

1.0

Table of uses

C121sgip 25/07/2019

Section 1 - Permit not required	
Use	Condition
Agriculture (other than Animal keeping, Intensive animal husbandry, Rice growing and Timber production)	
Extensive animal husbandry	
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01
Section 2 - Permit required	
Use	Condition
Cattle Feedlot	Must meet the requirements of Clause 53.08. The site must be located outside a catchment area listed in Appendix 2 of the Victorian Code for Cattle Feedlots – August 1995
Convenience restaurant	Must be in conjunction with a Service station
Equestrian supplies	
Horse stables	
Primary produce sales	
Road freight terminal	
Rural Industry (other than sawmill, abattoir)	The use is to service or repair plant or equipment used in agriculture only
Service station	
Store	Storage must be in conjunction with an agricultural production use
Take away food premises	Must be in conjunction with a Service station
Trade supplies	Must only be in conjunction with an agricultural production use
Utility installation	
Veterinary centre	

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Any other use not in Section 1 or 3	
Section 3 - Prohibited	
Use	
Accommodation	
Art and craft centre	
Brothel	
Child care centre	
Cinema based entertainment facility	
Education centre	
Industry (other than Rural industry)	
Leisure and recreation	
Office	
Place of assembly	
Retail premises (other than Equestrian supplies, Primary produce sales, Take away food premises, Trade supplies)	
Warehouse (other than Store)	

2.0

Use of land

C108 03/08/2017

Exemption from notice and review

An application [for the use of land](#) [to be precise about application of exemption, in accordance with MD] is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

Application requirements

[The following application requirements apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority.](#) ~~An application to use land must be accompanied by the following information, as appropriate:~~ [to comply with MD]

The purpose and/or processes to be used on the land and how they directly support agricultural production.

- How land that is not required for immediate use is to be maintained.
- Whether a works approval or waste discharge licence is required from the Environment Protection Authority.
- Whether a notification under the Occupational Health and Safety (Major Hazard Facilities) Regulations 2000 is required, a licence under the *Dangerous Goods Act 1985* is required, or a fire protection quantity under the Dangerous Goods (Storage and Handling) Regulations 2000 is exceeded.
- A comprehensive traffic impact assessment prepared to the satisfaction of the responsible authority in consultation with the relevant road authority, that identifies the pattern and location of the ~~major~~ [NEW, change requested by DOT] arterial road network of the area including existing roads, and the location and details of any required:
 - Road widening.
 - Access points.
 - Bus lanes and stops.

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- The details of any hours of operation.
- The likely effects, if any, on the neighbouring land uses, including:
 - Noise levels.
 - Air-borne emissions including odours.
 - Emissions to land or water.
 - Light spill or glare.

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority. Before deciding on an application, the responsible authority must consider, as appropriate: [to comply with MD]

The effect that a proposed use may have on nearby agricultural areas or uses which are sensitive to off-site effects having regard to any comments or directions of the referral authorities.

- The effect that nearby activities may have on the proposed use.
- Any effect to the service potential of nearby urbanised centres, including Koonwarra and Leongatha.
- The type and quantity of goods to be stored, processed or produced.
- The availability of and connection to services.
- The effect of traffic to be generated on roads and the opinion of the relevant road authority.
- The interim use of those parts of the land not required for the proposed use.

3.0

Subdivision

C108 03/08/2017

Permit requirement

A permit is required to subdivide land.

Exemption from notice and review

An application for the subdivision of land [to be precise about application of exemption, in accordance with MD] is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

Application Requirements

The following application requirements apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. The subdivision application must be prepared to the satisfaction of the responsible authority. An application to subdivide land must be accompanied by the following information, as appropriate: [to comply with MD]

- The efficient and orderly subdivision of land having regard to essential services (notably wastewater servicing), open space and roads.
- A stormwater management plan addressing runoff collection and treatment within the lot boundary and incorporates the extent of retarding/detention infrastructure. Plans are required to include:
 - Water sensitive urban design techniques which provides for the protection of natural systems.
 - Integration of stormwater treatment into the landscape.
 - Improved water quality.
 - Reduction and mitigation of run-off and peak flows, including consideration of downstream impacts.
- A traffic management plan detailing vehicle, bicycle and pedestrian access points at the property boundaries, overall traffic flow, car parking, external traffic impacts, relevant treatments and any other pertinent information.
- A street network that:

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- promotes connection with current and proposed networks.
- supports building frontages which promote passive surveillance of the street network.
- A site plan drawn to scale showing:
 - The boundaries and dimensions of the site.
 - The layout of existing and future buildings and works.
 - Proposed landscape areas, including screening and a description of the vegetation
 - Provisions of pedestrian and bicycle access to the Rail Trail.

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority. Before deciding on an application, the responsible authority must consider, as appropriate: [to comply with MD]

- The potential uses of the proposed lots and their boundaries being of sufficient size and dimension to accommodate future users.
- Any natural or cultural features on or near the land.
- The logical and safe movement of traffic.
- Provision of pedestrian and bicycle access connecting to the existing network.
- The ability of each lot created to manage wastewater.

4.0

Buildings and works

C121sgjp 25/07/2019

Permit requirement

A permit is required to construct a building or construct or carry out works. This does not apply to:

- The installation of an automatic teller machine.
- A building or works which rearrange, alter or renew plant if the area or height of the plant is unaltered.
- A rainwater tank with a capacity of more than 4,500 litres if the following requirements are met:
 - The rainwater tank is not located within the building's setback from a street (other than a lane).
 - The rainwater tank is no higher than the existing building on the site.
 - The rainwater tank is not located in an area that is provided for car parking, loading, unloading or accessway.

Application requirements

The following application requirements apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. An application to construct a building or construct or carry out works must be accompanied by the following information, as considered appropriate by the responsible authority: [to comply with MD]

- A plan drawn to scale which shows:
 - Building height no more than two storeys (ten metres), above natural ground level.
 - The interface between adjacent land uses, proposed and existing, with the intent to reduce potential conflict and improve connections with future infrastructure.
 - The details of any outdoor storage or lighting.
 - Details of any proposed fencing in response to adjoining land uses.
 - Driveways, parking areas, loading and unloading areas, external storage, and screened waste storage areas.
 - Vehicle movement, manoeuvring, and access ways within the site.
 - Provision of pedestrian and bicycle access to the Rail Trail.
 - A construction management plan specifying how construction activity will be managed.

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- Construction details of all drainage works, driveways, and vehicle parking and loading areas.
- The location, type and design details of signage.
- A detailed landscaping plan, identifying all proposed landscaping with particular regard to the interface with surrounding open spaces, roads and other neighbouring uses. The landscape plan must include canopy tree plantings (at maturity) to soften the visual impact of new development when viewed from within and outside the development area, especially adjoining and distant views to the site from the highway.

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.10, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority. Before deciding on an application, the responsible authority must consider, as appropriate: [to comply with MD]

- Availability of and connection to reticulated services.
- The impact of signage (particularly illuminated signage) on the rural highway environment.
- The capability of the land to accommodate the proposed development where access to reticulated services is not available.
- The movement of pedestrians, cyclists and vehicles.
- Exterior design, active frontages, illumination of buildings and their immediate surrounds.
- Landscaping of parking areas to provide amenity.
- Landscaping to provide buffers between developments.
- The interim management of land not immediately required for development.
- Access for emergency services to water supplies on site.
- The responsibility for the maintenance of buildings, landscaping and paved areas.
- Provision of pedestrian and bicycle access to the Rail Trail.
- The development of the land in relation to building design, site layout, storage areas, signage and landscaping must appropriately respond to the high visual amenity of the locality and the land's prominent location on a highway and tourist route.

Maintenance

All buildings and works must be maintained in good order and appearance to the satisfaction of the responsible authority.

5.0

Signs

C121sgip 25/07/2019

Sign requirements are at Clause 52.05. All land located within this Schedule to this zone is in Category 3.

SCHEDULE 7 TO CLAUSE 37.01 SPECIAL USE ZONE

C109sgjp 21/02/2019

Shown on the planning scheme map as SUZ7.

CAMPING AND CARAVAN PARK**Purpose**

To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

To recognise and provide for the ongoing use of the site for the Camping and Caravan Park and related tourism facilities.

To ensure that the development of the Camping and Caravan Park and its facilities takes place in an orderly and proper manner and does not cause an unreasonable loss of amenity to the surrounding area.

To provide for sustainable tourism activities and a range of accommodation opportunities which complement the Camping and Caravan Park use.

1.0**Table of uses**

C109sgjp 21/02/2019

Section 1 - Permit not required	
Use	Condition
Apiculture	Must meet the requirements of the Apiary Code of Practice, May 1997.
Camping and caravan park	
Extensive Animal Husbandry	
Minor utility installation	
Caretaker's house	Must be the only Caretaker's house on the land.
Informal Outdoor Recreation	Must be in conjunction with the Camping and Caravan Park.
Search for stone	Must not be costeaning or bulk sampling.
Telecommunications Facility	Buildings and works must meet the requirements of Clause 52.19.
Any use listed in Clause 62.01 See Section 1 of 37.01-1 for relevant provisions [MD guidance text only, should not be included]	Must meet the requirements of Clause 62.01
Section 2 - Permit required	
Use	Condition
Agriculture (other than Apiculture and extensive animal husbandry)	
Backpacker's Lodge	Must be used in conjunction with the Camping and Caravan Park
Carpark	Must be used in conjunction with the Camping and Caravan Park
Child care centre Convenience shop	Must be used in conjunction with the Camping and Caravan Park

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Hostel	
Minor sports and recreation facility	
Office	Must be used in conjunction with the Camping and Caravan Park
Restaurant	
Restricted recreation facility	
Take away food premises	
Utility installation (other than Minor utility installation)	
Renewable energy facility	
Any other use not in Section 1 or 3 See Section 2 of 37.01-1 for relevant provisions [MD guidance text only, should not be included]	
Section 3 - Prohibited	
Use	
Accommodation (other than Caretaker's house, Camping and Caravan Park, Backpacker lodge and Hostel)	
Adult bookshop	
Brothel	
Crematorium/Cemetery	
Education Centre	
Earth and energy resources industry	
Fuel Depot	
Industry	
Leisure and recreation (other than Minor sports and recreation facility and Informal Outdoor Recreation)	
Place of Assembly	
Retail premises (other than Restaurant and Convenience shop)	
Research centre	
Service station	
Veterinary centre	
Warehouse	

2.0

Use of land

[C109sgjp](#) 21/02/2019

[Application requirements](#) [to maintain consistency with structure / format of all other SUZ schedules]

The following application requirements apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority

- The purpose of the use and the type of activities to be carried out.

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- How the proposed use supports, or is ancillary to the use of the land for a Camping and Caravan Park.
- The likely effects, if any, on adjoining land, including but not limited to;
 - noise levels;
 - traffic;
 - the hours of delivery and dispatch of goods and materials (including garbage collections);
 - hours of operation; and,
 - potential light spill.
- How the proposed use will respond to the bushfire risk.

Decision guidelines [to maintain consistency with structure / format of all other SUZ schedules]

The following decision guidelines apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

General issues

- The need to protect the ongoing use of the Camping and Caravan Park and to support appropriate ancillary uses complementary to the Camping and Caravan Park.
- The capability of the land to accommodate the proposed use in relation to existing infrastructure and services.
- The effect of traffic to be generated on roads.
- Any impact upon the existing use of the land and the surrounding area especially adjoining residential areas and public use areas.

Environmental issues

- The capability of each lot and/or area of common property to treat and retain all waste water on-site in accordance with the State Environment Protection Policy (Waters of Victoria).
- The impact of the proposed use on the natural physical features and resources of the area, in particular on vegetation, soil and water quality.
- The impact of the proposed use on flora, fauna and landscape.
- The impact of the proposed use on the adjoining foreshore areas.
- The need for the planting of additional locally indigenous vegetation to complement the existing vegetation on the site and adjoining foreshore areas.
- Whether the proposed use adequately responds to bushfire risk.

3.0

Subdivision

C109sgjp 21/02/2019

Application requirements [to maintain consistency with structure / format of all other SUZ schedules]

The following application requirements apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A report which explains how the proposed subdivision promotes the purpose of the zone and is supported by the decision guidelines of the Planning Scheme and the zone. The report must address how the subdivision will facilitate the ongoing use of the land for a Camping and Caravan Park.
- A Bushfire Management Plan that shows any bushfire mitigation measures to be relied upon in the subdivision of the land.
- A plan drawn to scale which shows for each lot:
 - The location and dimensions of existing development, car parking areas and driveway access.
 - Proposed building envelopes.
 - The natural topography and features of the site.

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- The location and dimensions of wastewater treatment and disposal areas.
- Any areas of common property.
- A land capability assessment which demonstrates that each lot is capable of treating and retaining all waste water in accordance with the State Environment Protection Policy (Waters of Victoria) under the Environment Protection Act 1970.

Decision guidelines [to maintain consistency with structure / format of all other SUZ schedules]

The following decision guidelines apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

General issues

- The need to protect the ongoing use of the Camping and Caravan Park and to support appropriate ancillary uses complementary to the Camping and Caravan Park.
- The capability of the land to accommodate the proposed development in relation to existing infrastructure and services.
- The effect of traffic to be generated on roads.
- Any impact upon the existing use of the land and the surrounding area especially adjoining residential areas and public use areas.

Environmental issues

- The capability of each lot and/or area of common property to treat and retain all waste water on-site in accordance with the State Environment Protection Policy (Waters of Victoria).
- The impact of the proposed subdivision on the natural physical features and resources of the area, in particular on vegetation, soil and water quality.
- The impact of the proposed subdivision on the flora, fauna and landscape.
- The impact of the proposed subdivision on the adjoining foreshore areas.
- The need for the planting of additional locally indigenous vegetation to complement the existing vegetation on the site and adjoining foreshore areas.
- Whether the proposed subdivision adequately responds to the bushfire risk.

4.0

Buildings and works

C109sgjp 21/02/2019

Permit requirement [to maintain consistency with structure / format of all other SUZ schedules]

No permit is required to construct a building or construct or carry out works for the following:

- An alteration or extension to an existing building provided the floor area of the alteration or extension is not more than 10 square metres.
- A rainwater tank.

Application requirements [to maintain consistency with structure / format of all other SUZ schedules]

The following application requirements apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A report which explains how the proposed development promotes the purpose of the zone and how the proposed development is supported by the decision guidelines of the Planning Scheme and the zone.
- A report which addresses how the buildings and works will respond to bushfire risk.
- A Site Context Plan drawn to scale which shows:
 - The boundary and dimensions of the site.
 - The natural topography and features of the site.
 - Adjoining roads, tracks and pathways.
 - The location, height and purpose of surrounding buildings and works.

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- Detailed Architectural Plans drawn to scale which show:
 - Floor and roof plans.
 - Elevation drawings showing the colour, materials of all buildings and works.
 - Proposed landscape areas.
- A land capability assessment which demonstrates that the treatment and retainment of all waste water is in accordance with the State Environment Protection Policy (Waters of Victoria) under the Environment Protection Act 1970.

Exemption from notice and review [to maintain consistency with structure / format of all other SUZ schedules]

An application to construct a building or construct or carry out works is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act except where new buildings and works are proposed to be located 30 metres or less from the boundary of the Special Use Zone.

Decision guidelines [to maintain consistency with structure / format of all other SUZ schedules]

The following decision guidelines apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

General issues

- The need to protect the ongoing use of the Camping and Caravan Park and to support appropriate ancillary uses complementary to the Camping and Caravan Park.
- The capability of the land to accommodate the proposed development in relation to existing infrastructure and services.
- The effect of traffic to be generated on roads.
- Any impact upon the amenity of the existing use of the land and any impacts on the amenity of the surrounding area especially the interface with adjoining residential areas and other public use areas.

Environmental issues

- The capability of each lot and/or area of common property to treat and retain all waste water on-site in accordance with the State Environment Protection Policy (Waters of Victoria).
- The impact of the proposed development on the natural physical features and resources of the area, in particular on vegetation, soil and water quality.
- The impact of the proposed development on the flora, fauna and landscape.
- The impact of the proposed development on the adjoining foreshore areas.
- The need for the planting of additional locally indigenous vegetation to complement the existing vegetation on the site and adjoining foreshore areas.
- Whether the proposed development adequately responds to the bushfire risk.

Design and siting issues

- The impact of the siting, design, height, bulk, colours and materials to be used, on the natural environment, major roads and vistas.
- The impact on the character and appearance of the area or features of architectural, historic or scientific significance or of natural scenic beauty or importance.
- The need for building materials to be non-reflective or of colours that complement the surrounding landscape.
- Whether the proposed development maintains the landscape significance of the area.
- The extent of landscaping proposed around buildings and throughout the site, including the use of indigenous species to minimise the visual impact of buildings.
- The location and design of existing and proposed infrastructure including roads, gas, water, drainage, telecommunications and sewerage facilities.
- Whether the proposed development will require traffic management measures.

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- Access points for vehicles, cyclists, pedestrians, and service vehicles (including deliveries, waste removal, emergency services and public transport) and circulation around the site.
- The provision of car parking and bicycle parking.
- The need to ensure that any landscaping does not increase the risk from bushfire.

5.0**Signs**

[C109sgip](#) 21/02/2019

Advertising sign requirements are at Clause 52.05. All land located within the Camping and Caravan Park Special Use Zone is in Category 3.

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SCHEDULE 8 TO CLAUSE 37.01 SPECIAL USE ZONE

VC196 19/08/2021

Shown on the planning scheme map as **SUZ8**.

EXTRACTIVE INDUSTRY

Purpose

To recognise or provide for the use and development of land for extractive industry.

To prohibit uses that are incompatible with the existing or future use and development of land for extractive industry.

To encourage land management practices and rehabilitation that minimise adverse impact on the use and development of nearby land.

1.0

Table of uses

VC196 19/08/2021

Section 1 - Permit not required	
Use	Condition
Extractive industry	Must meet the requirements of Clause 62.01
Grazing animal production Home based business Railway Tramway	
Any use listed in Clause 62.01	Must meet the requirements of Clause 62.01.
Section 2 - Permit required	
Use	Condition
Agriculture (other than Apiculture, Animal husbandry, Domestic animal husbandry, and Grazing animal production)	
Domestic animal husbandry (other than Domestic animal boarding) Caretaker's house	Must be no more than five animals.
Industry (other than Materials recycling, Refuse disposal, and Transfer station)	Must be used in conjunction with extractive industry.
Landscape gardening supplies Leisure and recreation (other than Informal outdoor recreation) Manufacturing sales Materials recycling Refuse disposal Transfer station Utility installation (other than Minor utility installation)	
Warehouse	Must not be a purpose listed in the table to Clause 53.10.
Any other use not in Section 1 or 3.	

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Section 3 - Prohibited	
Use	
Accommodation (other than Caretaker's house)	
Animal husbandry (other than Apiculture, Domestic animal husbandry and Grazing animal production)	
Brothel	
Education centre	
Funeral parlour	
Hospital	
Office	
Place of assembly	
Recreational boat facility	
Retail premises (other than Landscape gardening supplies and Manufacturing sales)	
Saleyard	
Service station	
Transport terminal	
Veterinary centre	

- 2.0** **Use of land**
VC196 19/08/2021
None specified.
- 3.0** **Subdivision**
VC196 19/08/2021
None specified.
- 4.0** **Buildings and works**
VC196 19/08/2021
None specified.
- 5.0** **Signs**
VC196 19/08/2021
None specified.

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SCHEDULE 1 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as ESO1.

AREAS OF NATURAL SIGNIFICANCE

1.0 Statement of environmental significance

C121sgjp 25/07/2019

South Gippsland contains a number of areas of natural significance including numerous Flora and Fauna Reserves. There are also important sites within the various National, State and Coastal Parks and other reserves throughout the Shire as well as along roadside reserves and on privately owned land. The clearing of native vegetation and the introduction of weeds and vermin remain important issues.

2.0 Environmental objective to be achieved

C121sgjp 25/07/2019

To preserve and enhance existing indigenous flora and fauna.

To conserve areas of wildlife habitats and allow for the generation and regeneration of habitats.

To conserve areas of high environmental and landscape quality, ensuring development minimises adverse environmental impact.

To ensure that development reinforces existing flora through the revegetation of valleys and drainage lines.

To protect the views of identified significant vistas.

3.0 Permit requirement

C121sgjp 25/07/2019

A permit is not required to construct the following buildings or to construct or carry out the following works:

Agricultural activities

- Agricultural activities including ploughing, fencing and the construction of a dam with a capacity of less than 3000 cubic metres.
- Buildings or works specifically identified in a whole farm plan prepared to the satisfaction of the responsible authority.

Infrastructure

- The layout of underground sewerage, water and gas mains, oil pipelines, underground telephone lines and underground power lines provided they do not alter the topography of the land.

Buildings and works

- Buildings and works undertaken by or on behalf of the Department of Natural Resources & Environment on coastal Crown Land under relevant legislation
- Buildings and works undertaken by or on behalf of Parks Victoria in relation to its obligations under relevant legislation.

A permit is not required to remove, destroy or lop vegetation in a domestic garden.

~~An application must be accompanied by information showing:~~

- ~~• The location of all waterways and drainage line, including permanent and temporary streams and wetlands.~~
- ~~• The extent and type of all vegetation to be removed or cleared.~~ [move to application requirements] [these are application requirements]

4.0 Application requirements

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. [to comply with MD]

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~~None specified.~~

~~An application must be accompanied by information showing:~~

- ~~The location of all waterways and drainage line, including permanent and temporary streams and wetlands.~~
- ~~The extent and type of all vegetation to be removed or cleared.~~ [moved from permit requirement]
[these are application requirements]
- ~~A report of the impact the use or development will have on the likelihood of erosion, land degradation and land stability on the land and adjoining land.~~ [based upon DEWLP requested change]

5.0

Decision guidelines

C121sgip 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority. [to comply with MD]

- ~~The purpose of the overlay.~~ [already required in parent provision]
- The conservation and enhancement of the area.
- The preservation of and the impact on the natural environment and the need for preventing erosion.
- The need to retain a buffer strip of native vegetation adjacent to roads, coastal areas, watercourses and property boundaries.
- The need to protect the scenic quality and visual integrity of the landscape.
- The management of vegetation necessary to minimise fire hazard.
- The importance of retaining any vegetation unique to the area concerned.
- The importance of retaining any habitats which support local native fauna.
- Any alternative method of constructing or carrying out of the development or works.
- ~~Any relevant reports and recommendations of the Land Conservation Council.~~
 - ~~The views of the Department of Natural Resources and Environment in respect to:~~
 - ~~Subdivision applications of greater than four lots or any subdivision application which may have adverse environmental effects.~~
 - ~~Applications which immediately abut Crown Land.~~
 - ~~Applications which in the opinion of the responsible authority, may have an adverse impact, including visual impacts, on Crown Land.~~
 - ~~Applications which in the opinion of the responsible authority may adversely affect coastal processes and dune systems (including tertiary systems).~~
 - ~~Applications which in the opinion of the responsible authority may adversely affect on flooding.~~
 - ~~Applications which in the opinion of the responsible authority may cause or otherwise cause erosion, land degradation or affect land stability on either the subject land or on adjoining land.~~
 - Applications which in the opinion of the responsible authority may adversely affect wildlife habitat and sites of biological or zoological significance. [DEWLP requested change]

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SCHEDULE 2 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as ESO2.

SPECIAL WATER SUPPLY CATCHMENT AREAS

1.0 Statement of environmental significance

C121sgjp 25/07/2019

-Approximately 30 percent of land in South Gippsland Shire is located in a water catchment that are used to provide water for human consumption, domestic use, agriculture and industrial activities. These catchments are declared as 'Special Water Supply Catchment Areas' as defined in the *Catchment and Land Protection Act 1994*.

Special Water Supply Catchments cover large areas with water take-off points occurring in the lower parts of catchments. Land use or development within Special Water Supply Catchments and in close proximity of the water take-off points should be managed carefully to minimise the impact on water quality.

Cumulative use or development in catchments over extended time periods has the potential to gradually diminish water quality and increase risk to human health. The management of use or development in catchments must focus on the long term protection of the natural asset and strongly encourage the implementation of measures to avoid detrimental impacts on water quality and quantity.

2.0 Environmental objective to be achieved

C121sgjp 25/07/2019

To protect and maintain water quality and quantity in Special Water Supply Catchment areas used for human consumption, domestic, industrial and rural water supply.

To ensure that development activity and land management practices are consistent with environmental values and the long term conservation of potable water supply resources.

To minimise the impact of residential development and intensive farming activity in Special Water Supply Catchment areas, particularly near water supply take-off points and storage reservoirs.

To encourage retention of native vegetation and the establishment of new vegetation cover, particularly within 30 metres of a waterway.

To consider the cumulative impact of use and development on Special Water Supply Catchments over an extended time period having regard to both climate variability and anticipated reduced inflows in catchments.

To minimise the impact of development in townships without reticulated sewerage, particularly having regard to small lot sizes, existing water contamination levels and the long term expectation that small towns will remain unsewered.

To ensure new development proposals meet best practice guidelines for agricultural, domestic, commercial and industrial wastewater treatment which result in reduced nutrient, pathogenic and sediment flows.

To protect public health from the risk of waterborne diseases.

3.0 Permit requirement

C121sgjp 25/07/2019

A permit is not required for the following:

- Buildings, works, subdivision of land, or to remove, destroy or lop any vegetation where reticulated sewer is connected to the lot.
- Buildings and works associated with the use of the land for a single dwelling on a lot of 40 hectares or greater.
- Buildings and works where they are located more than 100 metres from a waterway or more than 300 meters from a water supply reservoir or potable water supply take-off structure, other than:

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- Buildings and works that will generate waste water or effluent requiring permissions under Section 53L of the *Environment Protection Act 1970* (to construct, install or alter a septic tank system).
- Buildings and works associated with the use of land for intensive animal husbandry or industry.
- Buildings and works associated with 'informal outdoor recreation' or a 'telecommunication facility' provided it does not require permanent onsite waste water or effluent treatment.
- Buildings and works (including vegetation removal, destruction or lopping) undertaken by, or on behalf of a municipality or public authority which are necessary to control flooding, fight fires, abate fire risk or preserve public safety.
- The removal, destruction or lopping of vegetation which is non-native to Victoria except where the vegetation is within 30 metres of a waterway, wetland, flood plain¹ or water reservoir².
- Earthworks associated with timber production that meets all the relevant requirements of the *Code of Practice for Timber Production 2007* (as amended).
- A subdivision by a public authority, or a utility provider, provided the subdivision does not create a new lot within 100 metres of a waterway, wetland, flood plain¹ and/or within 300 metres of a water supply reservoir² or potable water supply take-off structure.
- An outdoor sign/structure.
- Buildings and works specifically identified in a whole farm plan approved by the responsible authority and water supply authority.
- Windmills and solar units.

Permit requirement explanatory notes:

Flood plain¹. For the purpose of this schedule a flood plain is land included in a planning scheme overlay flood control and land affected by the 100 year Average Recurrence Interval flood level (1 in 100 year flood level) recognised and mapped by the relevant floodplain management authority.

Water supply reservoir². The requirement for a planning permit within 300 metres of a water supply reservoir (measured from the full supply level) does not apply to proposals on land outside of the water supply reservoir capture slope (downhill of the reservoir) or any circumstance where the water supply reservoir is an above ground structure.

4.0

Application requirements

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. [to comply with MD]

An application for buildings or works should include the following to the satisfaction of the responsible authority:

- A Land Capability Assessment (in accordance with the background document *EPA Publication 746.1 Land Capability Assessment for Onsite Domestic Wastewater Management* (as amended) demonstrating the land is capable of absorbing sewage and sullage effluent generated on the lot in accordance with the background document *EPA Code of Practice - Onsite Wastewater Management (Publication 891.3)* (as amended).
- A report, prepared by a suitable qualified person, demonstrating that:
 - The design of any wastewater treatment system will ensure that nutrients, pathogens or other pollutants from wastewater will not enter any waterway, wetland, flood plain or water supply reservoir or otherwise detrimentally affect the designated beneficial uses of groundwater or surface water.
 - How activities will be carried out and maintained to prevent erosion and the siltation of any waterway or wetland in accordance with *EPA Victoria publication - Construction Techniques for Sediment Pollution Control 1991* or any superseding document(s).
 - Any removal, destruction or lopping of native vegetation will not compromise the quality of water within proclaimed catchment areas.
 - The siting of buildings and wastewater treatment systems will not compromise the quality of water within declared catchment areas.

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- Details of slope (including contours at an appropriate scale), soil type, extent of excavation and vegetation including details of new plantings to occur.
- A revegetation plan where buildings or works are proposed within 30 metres of a waterway.
[NEW, requested by South Gippsland Water]

5.0

Decision guidelines

C121sgjp 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority. Before deciding on an application, the responsible authority must consider: [to comply with MD]

- The likely impacts of the proposed development on water quality and quantity in the water supply catchment.
- The potential cumulative impact of development on the quality and quantity of water in the water supply catchment over extended periods of time.
- Whether new development proposals will lead to an increase in the amount of nutrients, pathogens or other pollutants reaching streams, surface water bodies and groundwater.
- Whether subdivision and intensive farming activities in water supply catchments, especially in the lower areas of water supply catchments near takeoff points are appropriate.
- Any relevant catchment management plan, policy, strategy or Ministerial Direction, including the Ministerial Guideline for Planning Permit Applications in Open Potable Water Supply Catchment Areas or any superseding document.

Referral of applications

~~An application must be referred to the relevant water board or water supply authority under Section 55 of the Planning and Environment Act 1987, unless in the opinion of the responsible authority the proposal satisfies requirements or conditions previously agreed in writing between the responsible authority and the water board or water supply authority. [cannot include referral provisions in local schedules – this referral is already specified in 66.04, however the “unless” section is not specified / picked up]~~

Background documents

~~Domestic Wastewater Management Plan (DWMP) 2016-2020~~ [not as per MD format – this document is already specified in 72.08]

SCHEDULE 3 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

GC195 25/11/2021

Shown on the planning scheme map as ESO3.

COASTAL SETTLEMENTS –NON RESIDENTIAL ZONES [control relates to both residential and non-residential areas]**1.0 Statement of environmental significance**

C121sgjp 25/07/2019

South Gippsland contains some of Victoria's most significant coastal areas. Wilsons Promontory, Corner Inlet, Waratah Bay, Shallow Inlet, Walkerville, Cape Liptrap, Venus Bay and Andersons Inlet are all important coastal areas. They are important for their environmental, economic, recreational, cultural, heritage values and rugged appeal. While obviously of immense interest, it is important that the coast is protected from inappropriate development and mismanagement of both coastal and inland areas.

2.0 Environmental objective to be achieved

C121sgjp 25/07/2019

To protect and enhance the natural beauty of the coastal area.

To protect and enhance the environmental quality of the coastal area.

To minimise the risk of erosion, pollution and destruction of the environment through poorly managed development.

To ensure that development adjacent to coastal areas is compatible with the environment and does not result in adverse impacts on coastal processes.

3.0 Permit requirement

C121sgjp 25/07/2019

A permit is not required to construct the following buildings or to construct or carry out the following works:

Agricultural activities

- Agricultural activities including ploughing, fencing and the construction of a dam with a capacity of less than 3000 cubic metres.
- Buildings or works specifically identified in a whole farm plan prepared to the satisfaction of the responsible authority.

Infrastructure

- The lay out of underground sewerage, water and gas mains, oil pipelines, underground telephone lines and underground power lines provided they do not alter the topography of the land.

Power lines

- Telephone or power lines provided they do not involve the construction of towers.

Buildings and works:

- A building, which is ancillary to a dwelling, has a floor area of less than 100 square metres and is not used for accommodation, provided all external cladding materials are finished and maintained in muted, non reflective tones.
- Extension to an existing dwelling provided the additional floor area is less than 100square metres, provided all external cladding materials are finished and maintained in muted, non reflective tones.
- Buildings and works undertaken by or on behalf of the Department of Sustainability & Environment on coastal Crown land under relevant legislation
- Buildings and works undertaken by or on behalf of Parks Victoria in relation to its obligations under relevant legislation.
- A permit is not required to remove, destroy or lop non-indigenous vegetation in a domestic garden.

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~~An application must be accompanied by supporting information and or plans showing:~~

- ~~• The existing conditions including watercourses vegetation, contour intervals at suitable scale.~~
- ~~• The location and layout of buildings and works.~~ [move to application requirements] [these are application requirements]

All applications for development on Coastal Crown land, as defined under the *Coastal Management Act, 1995*, must be referred in accordance with Section 55 of the Act to the referral authority specified in Clause 66.04 or a schedule to that clause. [referral requirements cannot be included in local schedules – this referral is specified in 66.04]

4.0 **Application requirements**

C121sgip 25/07/2019

The following application requirements apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. ~~An application must be accompanied by supporting information and or plans showing:~~ [to comply with MD]

- ~~The existing conditions including watercourses vegetation, contour intervals at suitable scale.~~
- ~~The location and layout of buildings and works.~~ [moved from permit requirement] [these are application requirements]
- ~~A report of the impact the use or development will have on the likelihood of erosion, land degradation and land stability on the land and adjoining land.~~ [based upon DEWLP requested change]

None specified.

5.0 **Decision guidelines**

C121sgip 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority. ~~Before deciding on an application, the responsible authority must consider:~~ [to comply with MD]

- ~~• The purpose of the overlay.~~ [Already required in the parent provision]
- The maintenance and improvement of the stability of the coastal dunes and coastlines.
- The preservation of any existing natural vegetation.
- The conservation of any areas of environmental importance or significance.
- The intensity of human activity which the landscapes and the environment the area can sustain.
- The existing use and possible development of the land and nearby land.
- The effect of development on the use and development of other land which has a common means of drainage.
- Whether the development of the land will be detrimental to the natural environment.
- The availability of water, sewerage, drainage, electricity and other services.
- Whether or not the site is large enough to enable the adequate disposal and treatment of effluent through a septic tank system.
- The siting, colour and design of buildings and works.
- The protection of the area for its recreational value.
- The risk of fire.
- Any relevant coastal study adopted by the Shire of South Gippsland.
- ~~• The views of the Department of Environment, Land, Water, and Planning in respect to:~~
 - ~~• Subdivision applications of greater than four lots or any subdivision application which may have adverse environmental effects.~~
 - ~~• Applications which immediately abut Crown Land.~~

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- ~~Applications which in the opinion of the responsible authority, may have adverse impact, on Crown Land.~~
- ~~Applications which in the opinion of the responsible authority may adversely affect coastal processes, dune systems (including tertiary systems), have possible effect on aquatic habitat and flora and fauna habitat.~~
- ~~Applications which in the opinion of the responsible authority may cause or otherwise cause erosion, land degradation or affect land stability on either the subject land or on adjoining land.~~
- ~~Applications which in the opinion of the responsible authority may adversely affect wildlife habitat and sites of biological or zoological significance. [DEWLP requested change]~~

SCHEDULE 4 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as ESO4.

SEWAGE TREATMENT PLANT AND ENVIRONS**1.0 Statement of environmental significance**

C121sgjp 25/07/2019

The land surrounding sewage treatment plants is of high importance in its role of providing a two-way buffer zone between nearby developments and such plants. It is significant in ensuring the long term protection of such key infrastructure facilities and enabling unobstructed expansion and facilitation of compatible land uses and developments in their vicinity.

2.0 Environmental objective to be achieved

C121sgjp 25/07/2019

To protect sewage treatment plants from the encroachments of incompatible development, including through the provision of

~~To provide for a~~ buffer areas ~~around the plant~~ as required by the Environment Protection Authority. [to comply with MD – only 1 objective permitted]

3.0 Permit requirement

C121sgjp 25/07/2019

A permit is not required to construct a building or to construct or carry out works, except those designed for:

- Accommodation, childcare, education, office, place of assembly and retail purpose.

A permit is not required to remove, destroy or lop vegetation, subject to the provisions of Clause 52.17

~~An application must be accompanied by supporting information and or plans to demonstrate:~~

- ~~The site of the proposed buildings and works will not adversely affect or be affected by the sewage treatment facilities.~~ [moved to application requirements] [these are application requirements]

4.0 Application requirements

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. ~~An application must be accompanied by supporting information and or plans to demonstrate:~~ [to comply with MD]

- The site of the proposed buildings and works will not adversely affect or be affected by the sewage treatment facilities. [moved from permit requirement] [these are application requirements]

~~None specified.~~

5.0 Decision guidelines

C121sgjp 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- The purpose of the overlay.
- The views of the Environment Protection Authority of Victoria.
- The views of the relevant water authority responsible for operating the sewage treatment facility.
- The effect of any development on the operation of the treatment facilities.

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- The prevention of inappropriate development in the vicinity of the treatment facility such that the long term future of the treatment works is not threatened.

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SCHEDULE 5 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as ESO5.

AREAS SUSCEPTIBLE TO EROSION

1.0 Statement of environmental significance

C121sgjp 25/07/2019

Erosion is recognised as a land management concern with diverse causes that may affect any property. Therefore it is important to encourage best practices for farming, building and associated land disturbances and to increase awareness of the issues that may exacerbate the process such as earthworks, control of water run-off and removal of vegetation.

~~The Department of Natural Resources and Environment has mapped certain areas in the Shire as susceptible to erosion. There are other areas within the Shire which have been specifically identified as prone to land slips and erosion. Whereas this overlay is applied to the areas susceptible to erosion as identified by the Department of Natural Resources and Environment, the Erosion Management Overlay is applied to the areas specifically identified as prone to land slips.~~ [DEWLP requested change]

2.0 Environmental objective to be achieved

C121sgjp 25/07/2019

To protect areas prone to erosion and watercourses by minimising land disturbance and vegetation loss and by-

~~To preventing~~ increased surface runoff or concentration of surface water runoff leading to erosion or siltation ~~of watercourses.~~ [to comply with MD – only 1 objective permitted]

3.0 Permit requirement

C121sgjp 25/07/2019

A permit is not required to construct the following buildings or to construct or carry out the following works.

Agricultural activities:

- Agricultural activities including ploughing, fencing and the construction of a dam with a capacity of less than 3000 cubic metres.
- Buildings or works specifically identified in a whole farm plan prepared to the satisfaction of the responsible authority.

Infrastructure:

- The lay out of underground sewerage, water and gas mains, oil pipelines, underground telephone lines and underground power lines provided they do not alter the topography of the land.

Power Lines:

- Telephone or power lines provided they do not involve the construction of towers.

Buildings:

- A building or extension to an existing building where the total resultant floor area is less than 200 square metres, provided the construction is carried out in accordance with *Construction Techniques for Sediment Pollution Control* (EPA 1991) and the background document *Control of Erosion on Construction Sites* (Soil Conservation Authority).

A permit is not required to remove, destroy or lop vegetation:

- In a domestic garden.
- For the use as firewood for heating or cooking purposes within the dwelling on the lot from which the wood was collected.

~~An application must be accompanied by supporting information and or plans showing:~~

- ~~• The existing conditions including streams, vegetation and contour intervals at suitable scale.~~
- ~~• The location and layout of the proposed buildings and works.~~ [move to application requirements] [these are application requirements]

4.0 Application requirements

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. ~~An application must be accompanied by supporting information and or plans showing:~~ [to comply with MD]

- The existing conditions including streams, vegetation and contour intervals at suitable scale.
- The location and layout of the proposed buildings and works. [moved from permit requirement] [these are application requirements]
- A report of the impact the use or development will have on the likelihood of erosion, land degradation and land stability on the land and adjoining land. [based upon DEWLP requested change]

~~None specified.~~

5.0 Decision guidelines

C121sgjp 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority. ~~Before deciding on an application, the responsible authority must consider, as appropriate:~~ [to comply with MD]

- * ~~The purpose of the overlay. [this is already covered by the parent provision]~~

~~The following publications:~~

~~Background document *Environment Guidelines for Major Construction Sites* (Environment Protection Authority, February 1996).~~

~~*Construction Techniques for Sediment Pollution Control* (Environment Protection Authority, May 1991).~~

~~Background document *Control of Erosion on Construction sites* (Soil Conservation Authority).~~

~~Background document *Your Dam, on a Level or a Liability* (Department of Conservation and Natural Resources). [Publications out of date. Inclusion of documents in decision guidelines does not conform with MD]~~

- Any proposed measures to minimise the extent of soil disturbance and runoff.
- The need to stabilise disturbed areas by engineering works or vegetation.
- Whether the land is capable of providing a building envelope, which is not subject to high or severe erosion problem.
- Whether the proposed buildings or works are likely to cause erosion or landslip.
- Whether the proposed access and servicing of the site or the building envelope is likely to result in erosion or landslip.
- Any Land Capability Report Guidelines prepared by the Department of Natural Resources and Environment, Centre for Land Protection Resource.
- * ~~The views of the Department of Natural Resources and Environment in respect to:~~
 - ~~Subdivision applications of greater than four lots or any subdivision application which may have adverse environmental effects.~~
 - ~~Applications which immediately abut Crown Land.~~
 - Applications, which in the opinion of the responsible authority may cause or otherwise cause erosion, land degradation or affect land stability on either the subject land or on adjoining land. [DEWLP requested change]

SCHEDULE 7 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as ESO7.

COASTAL SETTLEMENTS**1.0 Statement of Environmental Significance**

C45 03/12/2009

South Gippsland contains some of Victoria's most significant coastline areas. The settlements of Venus Bay, Sandy Point, Tarwin Lower and Waratah Bay are situated along this coastline and contribute to the areas appeal by providing accommodation opportunities in environmentally significant areas. They are characterized by their predominance of native vegetation, easily erodable soils and their proximity to foreshore reserves, coastal parks and other public land and their rugged appeal.

2.0 Environmental objective to be achieved

C121sgjp 25/07/2019

- To protect and enhance the natural beauty of the coastal townships.
- To protect and enhance the environmental quality of the townships.
- To minimise the risk of erosion, and destruction of the environment through poorly managed development.
- To ensure that development adjacent to coastal areas is compatible with the environment and does not result in adverse impacts on coastal processes.

3.0 Permit requirement

C45 03/12/2009

A permit is not required to construct a building or carry out works other than for:

- A building or extension to a building where the difference between finished ground level and natural ground level as a result of excavation or filling exceeds 1 metre.

A permit is not required to remove, destroy or lop non-native vegetation.

4.0 Application requirements

C45 03/12/2009

The following application requirements apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. An application must be accompanied by supporting information and or plans showing: [to comply with MD]

- The existing conditions including vegetation and contour intervals at a suitable scale.
- The location and layout of buildings and works.
- Landscaping and areas of revegetation.
- A report of the impact the use or development will have on the likelihood of erosion, land degradation and land stability on the land and adjoining land. [based upon DEWLP requested change]

5.0 Decision Guidelines

C45 03/12/2009

The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority. Before deciding on an application, the responsible authority must consider: [to comply with MD]

- The environmental objectives of this schedule.
- Whether the proposal will assist in achieving the Vision, Objectives and Strategies for Venus Bay, Waratah Bay, Sandy Point and Tarwin Lower contained in Clause 21.04.

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- Whether the proposal will assist in the maintenance and improvement of the stability of the coastal dunes and coastlines.
- The impact of the proposal on the extent of natural vegetation retained on the site.
- The impact of the proposal on the conservation of any areas of environmental importance or significance.
- Whether opportunities exist to avoid excavation by the use of alternative building designs, including split level and staggered building forms that follow the natural slope of the land.
- Whether the development of the land will be detrimental to the natural environment.
- Any relevant coastal study adopted by the Shire of South Gippsland.
- ~~The views of the Department of Sustainability and Environment in respect to:~~
 - ~~Applications which immediately abut Crown land.~~
 - ~~Applications which in the opinion of the responsible authority may adversely affect coastal processes, dune systems (including tertiary systems), or have any possible effect on aquatic habitat and flora and fauna habitat.~~
 - ~~Applications which in the opinion of the responsible authority may cause or otherwise cause erosion, land degradation or affect land stability on either the subject land or on adjoining land.~~
 - ~~Applications which in the opinion of the responsible authority may adversely affect wildlife habitat and sites of biological or zoological significance.~~ [DEWLP requested change]

SCHEDULE 8 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as ESO8.

MANUFACTURE OF MILK PRODUCTS AMENITY BUFFER**1.0 Statement of environmental significance**

C121sgjp 25/07/2019

South Gippsland Shire contains some of the most productive dairy farming land in the nation. Milk processed in the Shire is exported globally and is a major contributor to the Victorian economy. Global demand for milk protein means that demand for milk products is expected to grow, underpinning the viability and expansion of local 'manufacture of milk products' facilities (milk factories) into the future.

A legacy of past practice means that milk factories are typically located in close proximity to residential areas and other sensitive land uses. This can create amenity conflicts from factory generated noise, odour, dust (particulates) and light impacts on surrounding land.

The ESO amenity buffer identifies the area most likely to be affected by factory operations. The control ensures that planning permit applications for sensitive land uses are assessed with consideration to potential factory impacts on surrounding lands and potential impacts on the factory from encroachment / intensification of sensitive uses near the factory. The ESO identifies areas subject to pre-existing factory impacts that will continue, and could intensify, over time.

The ESO does not affect a landowner's right to apply to use and develop a single dwelling on an existing lot in a residential zone in the buffer. The presence of the buffer does not reduce the responsibility on a factory to comply with relevant environmental standards and licensing requirements.

2.0 Environmental objective to be achieved

C121sgjp 25/07/2019

To inform landowners and land purchasers that the areas surrounding a manufacture of milk products facility may be exposed to amenity impacts resulting from existing and ongoing factory operations.

To protect a manufacture of milk products facility from the incremental encroachments of sensitive land uses that may endanger the commercial operations of the facility.

To discourage the subdivision of land for sensitive land uses that will result in an increase in the number of people likely to be exposed to amenity impacts from the operation of a manufacture of milk products facility.

To assist in shielding people from the impact of noise, odour, dust and light by requiring appropriate attenuation measures in new dwellings and other sensitive use buildings.

3.0 Permit requirement

C121sgjp 25/07/2019

A permit is not required to construct a building or construct or carry out works except in relation to the use of land for accommodation¹, childcare, education, hospital, office, place of assembly and retail purpose. This does not apply (no permit required) to the following buildings and works in relation to these uses:

- Non-habitable outbuildings.
- External alterations to a building that do not increase the internal floor area of a building by more than 50%.
- Fencing, signage and domestic services normal to a dwelling.
- Earthworks, landscaping, gardening.

A permit is not required under this overlay to remove, destroy or lop vegetation.

[Permit requirement explanatory note](#)

[Accommodation¹. Accommodation is 'Land used to accommodate persons' and includes Camping and caravan park, Corrective institution, Dependent person's unit, Dwelling, Group accommodation, Host](#)

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~~farm, Residential building, Residential village and Retirement village. Permit requirement explanatory note~~ [Repeats Clause 73.03 land use terms and 73.04 Nesting diagrams].

4.0 **Application requirements**

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 42.01, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

An application must include building design, layout and landscaping details demonstrating how the building will minimise the impact of noise, dust, odour and light pollution on the proposed sensitive land use.

Applications to subdivide land must include noise measurements, at various times across the 24 hour period, and reported by a suitably qualified acoustic engineer.

The application requirements can be reduced or set-aside if in the opinion of the responsible authority the requirements are unnecessary to appropriately consider the application.

5.0 **Decision guidelines**

C121sgjp 25/07/2019

~~The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority. Before deciding on an application, the responsible authority must consider:~~ [to comply with MD]

The objectives of the overlay.

The views of the ~~Environment Protection Authority of Victoria~~ [cannot include referrals in local provisions – this referral is specified in 66.04] and the manufacture of milk products company.

Whether the proposal is compatible with the current permitted operations, approved planning permit or an approved development plan for the manufacture of milk products facility.

Whether the design of the building responds to identified or anticipated noise, odour, dust and light pollution amenity issues.

The distance of the application site from the manufacture of milk products facility and corresponding impact of the facility on the sensitive land use.

Background documents

~~GHD Burra Foods Pty Ltd Buffer Assessment November 2014~~ [not in accordance with MD, this background document is listed in 72.08]

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SCHEDULE 9 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as ESO9.

GIANT GIPPSLAND EARTHWORM AND HABITAT PROTECTION

1.0 Statement of environmental significance

C121sgjp 25/07/2019

~~Clause 42.01 requires a schedule to contain a statement of environmental significance.~~ [MD guidance text only]

~~The Giant Gippsland Earthworm (*Megascolides australis*) is endemic to West and South Gippsland and one of the largest earthworms in the world. Individuals average about 80 centimetres long but have been recorded up to 1.8 metres. Dispersed Giant Gippsland Earthworm colonies, ranging in size from a few individuals to many hundreds, occur within a 400 square kilometre area generally bounded by the towns of Loch, Korumburra and Warragul.~~

~~The Giant Gippsland Earthworm plays an important role in soil structure and fertility, and contribute to the high agricultural value of the region. Suitable habitat is restricted to generally moist, blue-grey clay soils near stream banks, soaks or watercourses on south or west-facing slopes.~~

~~The Giant Gippsland Earthworm is sensitive to development activities that affect their habitats. Individuals reach maturity slowly, live in discrete populations that are widely dispersed and are unable to recover from even slight wounds. Major threats to their survival include soil disturbance, altered soil hydrology, chemical disturbances and extreme weather or climate change.~~

~~The Giant Gippsland Earthworm is a threatened species listed in both the Commonwealth (*Environment Protection and Biodiversity Conservation Act 1999*) and State (*Flora and Fauna Guarantee Act 1988*) legislation.~~ [moved from 2.0] [statement of environmental significance required as per MD]

2.0 Environmental objective to be achieved

C121sgjp 25/07/2019

~~The Giant Gippsland Earthworm (*Megascolides australis*) is endemic to West and South Gippsland and one of the largest earthworms in the world. Individuals average about 80 centimetres long but have been recorded up to 1.8 metres. Dispersed Giant Gippsland Earthworm colonies, ranging in size from a few individuals to many hundreds, occur within a 400 square kilometre area generally bounded by the towns of Loch, Korumburra and Warragul.~~

~~The Giant Gippsland Earthworm plays an important role in soil structure and fertility, and contribute to the high agricultural value of the region. Suitable habitat is restricted to generally moist, blue-grey clay soils near stream banks, soaks or watercourses on south or west-facing slopes.~~

~~The Giant Gippsland Earthworm is sensitive to development activities that affect their habitats. Individuals reach maturity slowly, live in discrete populations that are widely dispersed and are unable to recover from even slight wounds. Major threats to their survival include soil disturbance, altered soil hydrology, chemical disturbances and extreme weather or climate change.~~

~~The Giant Gippsland Earthworm is a threatened species listed in both the Commonwealth (*Environment Protection and Biodiversity Conservation Act 1999*) and State (*Flora and Fauna Guarantee Act 1988*) legislation.~~ [move to 1.0] [statement of environmental significance required as per MD]

~~This overlay supports the existing legislation by~~ To identifying potential Giant Gippsland Earthworm habitat and potential impacts to Giant Gippsland Earthworms and their habitat when considering planning permit applications prior to commencing any works. [to provide a single objective in accordance with MD]

3.0 Permit requirement

C121sgjp 25/07/2019

A permit is not required to construct the following buildings or to construct or carry out the following works, where the following apply: [Council – identified anomaly] [To clarify that it is the intention of

the provision to exempt any of the listed buildings and works. As currently drafted the current wording requires all dot points to be met to achieve the exemption]

- Buildings and works on lots less than 8,000 square metres within a Residential, Township or Industrial Zone.
- An alteration or extension to a dwelling where the additions do not exceed 100 square metres.
- An out-building associated with an existing use provided the building footprint is not more than 200 square metres.
- Establishment of a replacement building or dwelling within the same construction footprint.
- A survey has been conducted by a suitably qualified person establishing that no buildings and works will negatively impact Giant Gippsland Earthworm numbers. This survey is to be completed to the satisfaction of the responsible authority and the Department of Environment, Land, Water & Planning, and be in accordance with the *Giant Gippsland Earthworm Environmental Significance Overlay Reference Document* (September 2015).
- If a Giant Gippsland Earthworm Land Management Plan has been approved by the Department of Environment, Land, Water & Planning and the responsible authority.
- To undertake road maintenance, rehabilitation or improvement works within the formation of an existing road reserve.
- Where emergency works are required to be undertaken by or on behalf of a public authority.

~~All applications must be referred in accordance with Section 55 of the Act to the referral authority as specified in the schedule to Clause 66.04. [cannot include referral requirements in local provisions – this referral is specified in 66.04]~~

4.0

Application requirements

C121sgip 25/07/2019

~~The following application requirements apply to an application for a permit under Clause 42.01, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority. An application must include the following information to the satisfaction of the responsible authority: [to comply with MD]~~

Clear and precise details of the buildings and/or works proposed, including the location of any wastewater treatment systems, dispersal fields, stormwater flow, driveways, ground disturbance, changes to hydrology or drainage.

- Description of the purpose for the development.
- Detailed scale map of the subject land showing:
 - property boundaries and dimensions;
 - location of proposed buildings and works site;
 - all waterways, including creeks, streams, soaks, seepages or wetlands within or adjacent to works, and;
 - the locality of Giant Gippsland Earthworm habitat affected by the proposal.
- An impact assessment of the proposal on Giant Gippsland Earthworm habitat conducted by a suitably qualified person and in accordance with the *Giant Gippsland Earthworm Environmental Significance Overlay Reference Document* (September 2015).
- Details on how the application has attempted to avoid, minimise or offset negative impact on Giant Gippsland Earthworm habitat.

5.0

Decision guidelines

C121sgip 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- The objectives of this schedule.
- The views of the Department of Environment, Land, Water & Planning.

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- The effects and design of subdivision on earthworms and their habitats.
- The type, density and layout of building and works. Any proposal is to avoid, minimise or manage impacts, in that order. For example, can the proposal be accommodated on land not considered to contain Giant Gippsland Earthworm habitat?
- The significance of a site with respect to Giant Gippsland Earthworm habitat extent, quality and connectivity, population density or genetic distinctiveness.
- Any effects on Giant Gippsland Earthworm populations created by development, that may extend beyond the building period.
- Opportunity to offset the negative impacts of a proposal on the Giant Gippsland Earthworm.

Background documents-

Giant Gippsland Earthworm Environmental Significance Overlay Reference Document (September 2015) [move to 72.08] [not as per MD format]

SCHEDULE 1 TO CLAUSE 42.03 SIGNIFICANT LANDSCAPE OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as SLO1.

VENUS BAY PENINSULA AND ANDERSON INLET**1.0 Statement of nature and key elements of landscape**

C121sgjp 25/07/2019

The coastline at Venus Bay is a wild and windswept landscape of high coastal dunes and lonely beaches, providing a scenic backdrop for Anderson Inlet. Visually, it is a landscape of regional significance.

The dominant landform in this area is the high coastal dune system that rises to 60 metres in height and stretches for up to one kilometre inland. These dunes contrast with the calmer waters of Anderson Inlet and the flat swampy hinterland, and this scene provides a scenic outlook for the township of Inverloch. The landscape is largely natural and undeveloped with the exception of the currently contained housing settlement areas of Venus Bay. Vegetation is indigenous with an important stand at Point Smythe at the mouth of the inlet.

The landscape is highly significant for its Aboriginal cultural heritage values, with many known sites scattered throughout the dunal landscape. It is also of high community value for its scenic qualities and recreation opportunities, including fishing, walking and boating.

2.0 Landscape character objectives to be achieved

C121sgjp 25/07/2019

To retain and improve indigenous vegetation, particularly at roadsides and in riparian strips, to minimise the visual intrusion of new development.

To protect locally significant views and vistas which contribute to the character of the landscape, particularly expansive, open out views between Tarwin Lower and Venus Bay, and open views across Anderson Inlet.

To protect the flats between Townsend Bluff and Tarwin Lower from visually dominant development.

To contain the settlement of Venus Bay to less visible areas within topography.

To ensure that development in and around the Venus Bay estates does not impact on the characteristics of the landscape.

To ensure buildings and structures sit within, rather than dominate, the landscape.

To retain the sense of uncluttered openness throughout the area.

To ensure that development in and around the settlement of Tarwin Lower does not impact on the characteristics of the landscape, including key views and viewing opportunities.

To strengthen the dominant vegetated character of the Venus Bay peninsula as viewed from Anderson Inlet.

To minimise the visual impact of signage and other infrastructure, particularly on hill faces, in coastal areas and in other areas of high landscape values or visibility.

To protect landscape character and attributes that are consistent with the Aboriginal cultural heritage values of the area.

To recognise, and protect, the landscape of the Venus Bay and Anderson Inlet as places of significant Aboriginal cultural heritage value.

3.0 Permit requirement

C121sgjp 25/07/2019

A permit is not required for:

- A building or extension to an existing building where all of the following are met:
 - The building is single storey and no more than 7.5 metres in height above natural ground level; and,
 - Has a total area of less than 250 square metres; and

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- Is constructed in muted, non reflective tones.
- Buildings and works associated with informal outdoor recreation.
- Works undertaken by a public authority relating to watercourse management or environmental improvements
- A permit is required to remove, destroy or lop native vegetation. This does not apply in the following circumstances:
 - Vegetation that is dead.
 - The minimum extent of vegetation necessary for the maintenance of existing fences.

A permit is required to remove, destroy or lop non indigenous vegetation. This does not apply in the following circumstances:

- Vegetation that is dead.
- The minimum extent of vegetation necessary for the maintenance of existing fences.
- Is within a garden.
- Is less than 7.5 metres in height.
- Is senescent tree rows outside a garden.

A permit is required to construct a fence other than a post and wire fence up to 1.8 metres in height.

4.0 **Application requirements**

C121sgjp 25/07/2019

None specified.

5.0 **Decision guidelines**

C121sgjp 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 42.03, in addition to those specified in Clause 42.03 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority. Before deciding on an application, the responsible authority must consider: [to comply with MD]

- Whether proposed buildings are sited and designed to maximise retention of existing vegetation, and provide for the planting of new indigenous coastal vegetation wherever possible.
- Whether buildings, structures and other developments that occur in view fields are designed and sited so as to retain the character and quality of the views.
- Whether the proposal contributes to the retention or establishment of an undeveloped vegetated dune buffer to Venus Bay Estates 1 and 3 when viewed from the coast, the approach road, Anderson Inlet and adjoining rural areas.
- Whether the proposed new development is integrated with the landscape through the use of appropriate indigenous vegetation and whether it is accompanied by a landscape plan, where appropriate.
- Where development on the flats cannot be avoided, whether the proposal uses low scale building forms and appropriate materials and colours that are not highly visible, particularly from main road corridors.
- Whether the proposal utilises appropriate indigenous vegetation to further integrate the development with the landscape.
- Whether the visual intrusion of proposed buildings is minimised by utilising low scale building forms, tucked into the landscape, with the use of materials and colours that occur in the local area.
- Whether building heights are minimised in order to prevent visually intrusive developments, or any development visible from the Bass Strait Coast.
- Whether the proposed development is kept below the dominant tree canopy height.
- Whether the proposal prevents cluttering of development along main roads and key touring routes outside the settlements.
- In rural residential areas, whether the proposal:

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- Uses permeable surfacing for all unbuilt areas to minimise surface run-off and to support vegetation.
- Retains trees that form part of a continuous canopy beyond the property, and provides for the planting of new trees in a position where they will add to such a continuous canopy.
- Utilises vegetation for screening and to delineate property boundaries, instead of fencing.
- Provides open style fencing of a type traditionally used in rural areas ie post and wire (where fencing is necessary).
- Includes development located on the site to minimise views of the building from the main road into the settlement.
- The avoidance of any buildings or structures visible from the foreshore on the Bass Strait coast by setting new developments back on the inland side of dunes.
- Where development within the coastal strip cannot be avoided (e.g. development for essential public purposes), whether the proposal:
 - is sited in the lower one-third of the visible slope, wherever possible (avoid buildings protruding above the dune ridgeline);
 - includes buildings and structures set among existing vegetation, maximising the retention of coastal vegetation;
 - utilises appropriate indigenous vegetation to further integrate the development with the landscape;
 - is designed to follow the contours or step down the site;
 - includes buildings that are articulated into separate elements, and avoid visually dominant elevations;
 - is constructed of materials which reduce distant visibility (e.g. darker colours, non-reflective materials).
 - minimises overlooking of the foreshore; and
 - avoids pedestrian and vehicular access in highly visible or undisturbed areas.
- In circumstances where development cannot be avoided above ridgelines, whether the proposed development:
 - is located to avoid the loss of vegetation;
 - is constructed of lighter materials to minimise visibility against the sky.

6.0 Background documents

State Overview Report, Coastal Spaces Landscape Assessment Study (Planisphere, 2006)

South Gippsland Shire Municipal Reference Document, Coastal Spaces Landscape Assessment Study (Planisphere, 2006).

Siting and Design Guidelines for Structures on the Victorian Coast (Victorian Coastal Council, 1998)

SCHEDULE 2 TO CLAUSE 42.03 SIGNIFICANT LANDSCAPE OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as SLO2.

CAPE LIPTRAP TO WARATAH BAY**1.0 Statement of nature and key elements of landscape**

C121sgjp 25/07/2019

Cape Liptrap and surrounds is a diverse coastal landscape of State significance, comprising spectacular views and dramatic rock formations.

This is a remote and natural landscape with few settlements and long stretches of sandy beach, which is home to intact heathland and coastal forest communities. The area includes spectacular geological complexes with ancient Cambrian rocks and limestone cliffs, and remarkable landforms at Cape Liptrap and at Arch Rock. There are also unforgettable ocean views from high points such as the Cape Liptrap lighthouse, particularly across Waratah Bay to the dramatic profile of Wilsons Promontory.

In addition to its visual qualities, the landscape has significant cultural heritage and environmental values. The area is recorded on the Victorian Heritage Register and is recognised by the National Trust for relics of the lime burning industry at Walkerville South, with the ruins of several kilns still evident at the base of the cliffs. The area is also notable for shipwrecks off shore, and the remains of many Aboriginal camps with middens containing shellfish, flints and charcoal. The fauna and flora of the area are also highly valued, with some 270 species of flowering plants including 27 orchids and many threatened species.

2.0 Landscape character objectives to be achieved

C121sgjp 25/07/2019

To maintain, improve and protect indigenous vegetation, particularly at roadsides and in riparian strips throughout the landscape, and to ensure that it is the dominant feature of the landscape, particularly when viewed from the foreshore.

To protect locally significant views and vistas that contribute to the character of the landscape, including open views to Wilsons Promontory, the Toora Hills and Mt Hoddle.

To protect scenic vistas near the coast between Cape Liptrap and Walkerville, and views across Waratah Bay to Wilsons Promontory.

To protect the rural character and views that create a scenic 'gateway' to Wilsons Promontory.

To ensure that development in and around settlements does not impact on the characteristic of the landscape, including key views and viewing opportunities.

To manage development at the coastal edge of settlements so that the intact, natural, coastal character is the dominant feature of the landscape.

To minimise the visual intrusion of development within Walkerville and Walkerville South to views from the public foreshore and distant views (including offshore).

To contain the expansion of the settlements of Walkerville and Walkerville South into the vegetated and undeveloped landscapes between and adjacent to the settlements.

To ensure buildings and structures sit within, rather than dominate the landscape throughout the area.

To ensure minimum visibility of buildings and structures within the coastal strip.

To maintain the dominance of the natural landscape and vegetation on hill faces and ridges throughout the area.

To retain the natural and undeveloped character of the coastal strip between settlements by avoiding or carefully siting and designing development.

To ensure that long stretches of the coastal strip remain free of development of any kind.

To retain the open, rural character of the hinterland landscape.

To minimise the visual intrusion of signage and infrastructure, particularly in the landscape between settlements.

To preserve an appropriate landscape setting for landmarks or features of cultural heritage significance, such as the Cape Liptrap Lighthouse and limestone kilns at Walkerville.

To protect landscape character and attributes that are consistent with the Aboriginal cultural heritage values of the area.

To recognise, and protect, the landscape of Cape Liptrap to Waratah Bay as a place of significant Aboriginal cultural heritage value.

3.0

Permit requirement

[C121sgjp](#) 25/07/2019

A permit is not required for:

- A building or extension to an existing building where all of the following are met:
 - The building is single storey and no more than 5 metres in height above natural ground level;
 - Has a total area of less than 250 square metres; and
 - Is constructed in muted, non reflective tones.
- Buildings and works associated with informal outdoor recreation.
- Works undertaken by a public authority relating to watercourse management or environmental improvements

A permit is required to remove, destroy or lop native vegetation. This does not apply in the following circumstances:

- Vegetation that is dead.
- The minimum extent of vegetation necessary for the maintenance of existing fences.

A permit is required to remove, destroy or lop non indigenous vegetation. This does not apply in the following circumstances:

- Vegetation that is dead.
- The minimum extent of vegetation necessary for the maintenance of existing fences.
- Is within a garden.
- Is less than 7.5 metres in height.
- Is senescent tree rows outside a garden.

A permit is required to construct a fence other than a post and wire fence up to 1.8 metres in height.

4.0

Application requirements

[C121sgjp](#) 25/07/2019

None specified.

5.0

Decision guidelines

[C121sgjp](#) 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 42.03, in addition to those specified in Clause 42.03 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether buildings are sited and designed to maximise retention of existing vegetation throughout the area, and whether the proposal provides for the planting of new indigenous coastal vegetation wherever possible.
- Whether landscaping around buildings uses indigenous species (e.g. Eucalyptus or Melaleuca spp.) or non-invasive exotic / native feature planting that is already a feature of the character (e.g. existing shelterbelts).
- Whether the proposal utilises indigenous vegetation for screening and to delineate property boundaries or open style fencing (e.g. post and wire) where important views would be interfered with by vegetation.
- Whether proposed development in landscapes visible from the coast between Cape Liptrap and Walkerville is sited and designed to avoid visual intrusion by being set back from the coast and hidden by topography, or using low building forms, darker colours and non-reflective materials and landscaping with indigenous vegetation.

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- Whether the visibility of the proposed development is minimised in landscapes visible within 500 metres of formal scenic lookouts in the Character Area, including Cape Liptrap Lighthouse.
- Whether the proposed development is kept below the dominant tree canopy height.
- Whether the visual intrusion of the proposed development is reduced by utilising low scale building forms, tucked into the landscape, with the use of materials and colours that occur in the local area.
- In flatter locations, whether the proposed development is substantially set back to minimise visual intrusion and retain a dominant natural character within 500 metres of the edge of the coast.
- In steep or hilly locations, whether buildings are designed to follow the contours or step down the site, to minimise need for earthworks on the site and articulate buildings into separate elements to avoid visually dominant elevations.
- Whether the proposed development utilises permeable surfacing for all unbuilt areas to minimise surface run-off and to support vegetation.
- Whether the proposed development retains the character of large open rural areas offering scenic views by siting developments back from roads, amongst vegetation and low in topography.
- Whether proposed building heights and footprints are minimised to retain an undeveloped appearance from foreshore and other public use areas.
- Whether proposed buildings and structures are sited a sufficient distance away from landmarks or features of cultural heritage significance.
- Whether the proposed development maintains an isolated setting to the Cape Liptrap lighthouse and avoids competition for visual dominance.
- Whether the proposal contributes to the preservation of landscape conditions and settings of places of Aboriginal cultural heritage value.
- The need for the sparse location of buildings and structures outside of settlements, to avoid the loss of existing vegetation

~~6.0 Background documents~~

~~State Overview Report, Coastal Spaces Landscape Assessment Study (Planisphere, 2006)~~

~~South Gippsland Shire Municipal Reference Document, Coastal Spaces Landscape Assessment Study (Planisphere, 2006).~~

~~The Siting and Design Guidelines for Structures on the Victorian Coast (Victorian Coastal Council, 1998).~~ [not as per MD format – these documents as listed at 72.08]

SCHEDULE 3 TO CLAUSE 42.03 SIGNIFICANT LANDSCAPE OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as SLO3.

CORNER INLET AMPHITHEATRE**1.0 Statement of nature and key elements of landscape**

C121sgjp 25/07/2019

Mount Hoddle and the Welshpool Hills are prominent landforms that provide an amphitheatre setting for Corner Inlet and Wilsons Promontory, with the entire landscape unit being of regional significance.

The area is also of high environmental significance. It is identified by the RAMSAR Convention as a bird habitat of international importance, and is listed on the Register of the National Estate for its plant life, which is of bio-geographic significance. Aboriginal middens are plentiful along the shores of Corner Inlet, adding cultural heritage to the landscape's layers of significance.

2.0 Landscape character objectives to be achieved

C121sgjp 25/07/2019

To maintain and improve indigenous vegetation, particularly at roadsides and in riparian strips throughout the landscape.

To protect indigenous coastal vegetation and ensure that it is the dominant feature of the landscape, particularly when viewed from the foreshore.

To protect cultural vegetation patterns in the landscape.

To protect locally significant views and vistas that contribute to the character of the landscape, including open views to Wilsons Promontory, the Welshpool Hills and Mt Hoddle.

To protect the rural character and views that create a scenic 'gateway' to Wilsons Promontory (especially along Foster – Promontory Road).

To ensure that development in and around settlements does not impact on the characteristics of the landscape, including key views and viewing opportunities.

To manage development at the coastal edge of settlements so that the intact, natural, coastal character is the dominant feature of the landscape i.e. the Corner Inlet mangrove coastal edge of Port Albert and Port Welshpool and the Waratah Bay dunal coastal edge of Waratah Bay and Sandy Point.

To ensure buildings and structures sit within, rather than dominate the landscape.

To ensure that long stretches of the coastal strip remain free of development of any kind.

To reduce the visibility of buildings or structures, within the coastal strip, outside settlements.

To retain the open, rural character of the hinterland landscape.

To minimise the visual intrusion of infrastructure and signage, particularly between settlements.

To protect landscape character and attributes that are consistent with the Aboriginal cultural heritage values of the area.

To recognise, and protect, the landscape of the Corner Inlet Amphitheatre as a place of significant Aboriginal cultural heritage value.

3.0 Permit requirement

C121sgjp 25/07/2019

A permit is not required for:

- A building or extension to an existing building where all of the following are met:
 - The building is single storey and no more than 7.5 metres in height above natural ground level; and,
 - Has a total area of less than 250 square metres; and
 - Is constructed in muted, non reflective tones.
- Buildings and works associated with informal outdoor recreation.

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- Works undertaken by a public authority relating to watercourse management or environmental improvements

A permit is required to remove, destroy or lop native vegetation. This does not apply in the following circumstances:

- Vegetation that is dead.
- The minimum extent of vegetation necessary for the maintenance of existing fences.

A permit is required to remove, destroy or lop non indigenous vegetation. This does not apply in the following circumstances:

- Vegetation that is dead.
- The minimum extent of vegetation necessary for the maintenance of existing fences.
- Is within a garden.
- Is less than 7.5 metres in height.
- Is senescent tree rows outside a garden.

A permit is required to construct a fence other than a post and wire fence up to 1.8 metres in height.

4.0 **Application requirements**

[C121sgjp](#) 25/07/2019

None specified.

5.0 **Decision guidelines**

[C121sgjp](#) 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 42.03, in addition to those specified in Clause 42.03 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether buildings are sited and designed to maximise retention of existing vegetation throughout the landscape, and whether the proposal provides for the planting of new indigenous coastal vegetation wherever possible.
- Whether landscaping around buildings uses indigenous species (e.g. Eucalyptus or Melaleuca spp.) or non-invasive exotic / native feature planting that is already a feature of the character (e.g. existing shelterbelts).
- In landscapes visible within 500 metres of Foster – Wilsons Promontory Road, whether the proposed development is sited to retain the open rural character and views to coastal landscape features.
- Whether ridgetops and visually prominent hill faces are largely kept free from development, particularly slopes visible from the coast and coastal hinterland such as between Mount Hoddle and Yarram
- Along the South Gippsland Highway, whether buildings are sufficiently set back to avoid intrusion into views to Corner Inlet, Wilsons Promontory and the Welshpool Hills.
- Whether the proposed development is kept below the dominant tree canopy height.
- The sparse location of buildings and structures outside of settlements, to avoid the loss of existing vegetation.
- Whether the proposed development reduces visual intrusion by utilising low scale building forms, tucked into the landscape, with the use of materials and colours that occur in the local area.
- In coastal locations, whether the proposed development utilises materials and colours that minimise contrast with the surrounding landscape and whether the visibility of buildings and structures is minimised when viewed from a distance, including from offshore.
- In flatter locations (e.g. adjoining Shallow Inlet) whether the proposed development is substantially set back to minimise visual intrusion and to retain a dominant natural character within 500 metres of the edge of the coast.
- In steep or hilly locations, whether the proposed development is designed to follow the contours or step down the site, to minimise need for earthworks on the site and whether buildings are articulated into separate elements to avoid visually dominant elevations.

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- Whether the proposal includes the use of permeable surfacing for all unbuilt areas to minimise surface run-off and to support vegetation.
- Whether the proposal includes the use of vegetation for screening and to delineate property boundaries, instead of fencing. If fencing is necessary, the proposal should include open style fencing of a type traditionally used in rural areas i.e. post and wire.
- Whether the proposal contributes to the retention of the character of large open rural areas offering scenic views by siting developments back from roads, amongst vegetation and low in the topography.

~~6.0 Background documents~~

~~State Overview Report, Coastal Spaces Landscape Assessment Study (2006) Planisphere~~

~~South Gippsland Shire Municipal Reference Document, Coastal Spaces Landscape Assessment Study (2006), Planisphere~~

~~Siting and Design Guidelines for Structures on the Victorian Coast (1998) Victorian Coastal Council~~
[not as per MD format – these documents as listed at 72.08]

SOUTH GIPPSLAND PLANNING SCHEME
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SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY

C121sgjp 25/07/2019

1.0

Application requirements

C127sgjp 03/03/2022

The following application requirements apply to an application under Clause 43.01, in addition to those specified elsewhere in the planning scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A report prepared by a suitably qualified heritage consultant, that assesses the impact of the application upon the significance of the heritage place. This report should:
 - Include a Site Analysis that:
 - Describes the significant elements of the place having regard to the relevant citation in the *South Gippsland Heritage Study* (2004).
 - Demonstrates how the significant elements of the place have been considered in the preparation of the application. For applications that include demolition, provide an assessment of whether the fabric is significant and, if so, why it is to be removed.
 - Provide an assessment of how the application will affect the significance of the heritage place.

2.0**Heritage places**

C126sgip 11/03/2022

The requirements of this overlay apply to both the heritage place and its associated land.

PS map ref	Heritage place	External paint controls apply?	Internal alterations controls apply?	Tree controls apply?	Outbuildings or fences which are not exempt under Clause 43.01-3	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	ALLAMBEE & DISTRICT							
HO23	Allambee East Cemetery (former) Grand Ridge Road, Allambee East	No	No	No	No	No	No	No
HO24	Allambee South State School No 3075 (former) Grand Ridge Road, Allambee South	No	No	Yes	No	No	No	No
	BENA & DISTRICT							
HO25	Bena Primary School (former) No 3062 40 Greens Road, Bena	No	No	No	No	No	Yes	No
	BERRYS CREEK & BOOROOL							
HO28	Berry's Creek Honour Avenue Berry's Creek Road, Berry's Creek	No	No	Yes	No	No	No	No

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HO3	<p>Mossvale Park Mossvale Park Road, Berry's Creek</p> <p>The heritage place comprises the Algerian Oak (<i>Quercus Canariensis</i>) situated next to the sound shell, Oriental Plane (<i>Platanus Orientalis</i>) next to the rear gate leading to private land, Chestnut Leaved Oak (<i>Quercus Castaneifolia</i>), near toilet block, London Plane (<i>Platanus x Acerifolia</i>), next to sound shell, concrete block shelter, brick toilet block, ruins of original timber bridge on river bank, and other mature trees including English Elms (<i>Ulmus procera</i>), other Oaks, Planes, Copper Beech, and Variegated Elm (<i>Ulmus Minor Variegata</i>) situated on pasture land on east facing slope behind park.</p>	No	No	Yes	No	No	No	No
	DOLLAR & DISTRICT							
HO32	<p>Dollar State School No. 3473 (former) Dollar Hall Road</p> <p>The heritage place comprises school, adjacent shelter shed and surrounding land to a minimum extent of 5m.</p>	No	Yes	No	Yes	No	No	No
	FISH CREEK & DISTRICT							
HO13	<p>Bank of Australasia (former) 19 Falls Road, Fish Creek</p>	Yes	Yes	No	No	No	Yes	No
HO140	<p>Greenfields 915 Falls Road, Fish Creek</p> <p>The heritage place comprises dwelling and surrounding land to a minimum extent of 2m.</p>	No	No	No	No	No	No	No

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HO141	Bosley Farm 425 Harding-Lawson Road, Fish Creek The heritage place comprises dwelling and surrounding land to a minimum extent of 2m.	No	No	No	No	No	No	No
HO157	Fish Creek Memorial Hall 13 Falls Road Fish Creek	No	No	No	No	No	No	No
FOSTER & DISTRICT								
HO15	Victory Mine and Kaffir Hill Reserve, Foster	Yes	No	Yes	No	No	No	No
HO16	Exchange Hotel 43 Main Street, Foster	Yes	Yes	No	No	No	Yes	No
HO38	South Gippsland Historical Society Museum Main Street, Foster The heritage place comprises Foster Post Office (former) and former Agnes State School No. 3043.	No	Yes	No	No	No	No	No
HO39	Foster World War 1 Soldiers Memorial Main Street, Foster The heritage place comprises memorial and surrounding land to a minimum extent of 1m.	No	No	No	No	No	No	No
HO40	Foster Court House and Police Stables (former) 33 Station Road, Foster	No	No	No	No	No	No	No
HO41	Wilga (dwelling) 59 Station Road, Foster	No	No	No	No	No	No	No
HO42	Foster Recreation Reserve Pavilion Station Road, Foster	No	No	No	Yes	No	No	No
HO158	Hillcrest (dwelling) 175 Ameys Track, Foster	No	No	No	No	No	No	No

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	HEDLEY & DISTRICT							
HO44	Hedley Public Hall South Gippsland Highway, Hedley	No	No	No	No	No	No	No
	JEETHO							
HO46	Shire of Poowong & Jeetho Offices & Hall (former) (Jeetho Public Hall) Jeetho Road, Jeetho	Yes	Yes	No	No	No	Yes	No
HO142	Wrigwell (later Glenorchy) 250 Jeetho Road, Jeetho The heritage place comprises the dwelling, stables and trees along former carriage drive	No	No	Yes – trees along former carriage drive	Yes – stables only	No	No	No
	JUMBUNNA							
HO47	Brick culverts Lynn Streets, Jumbunna	No	No	No	No	No	No	No
	KARDELLA							
HO48	Kardella Avenue of Honour Kardella Road, Kardella	No	No	Yes	No	No	No	No
HO49	Boer War Memorial Oak Trees Kardella Road, Kardella	No	No	Yes	No	No	No	No
	KONGWAK							
HO4	Kongwak Co-operative Butter & Cheese Factory (former) Korumburra-Wonthaggi Road, Kongwak	Yes	Yes	No	No	No	Yes	No

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HO50	Kongwak Avenue of Honour Korumburra-Wonthaggi Road, Kongwak	No	No	Yes	No	No	No	No
KOONWARRA & DISTRICT								
HO51	Three Railway Bridges over Tarwin River South Eastern Railway, Koonwarra	No	No	No	No	No	No	No
HO52	Cluanie (former Linsfield, Lyrebird Mound) 390 Koonwarra-Inverloch Road, Koonwarra	No	No	Yes	Yes	No	No	No
KORUMBURRA & DISTRICT								
HO53	Korumburra Post & Telegraph Office (former) 24-26 Bridge Street, Korumburra	Yes	Yes	No	Yes – timber outbuilding	No	No	No
HO54	Coal Creek Heritage Park South Gippsland Highway Korumburra The heritage place comprises the former Korumburra Court House, Kilcunda Road State School No 3337 (former) and the Wattle and Daub Cottage.	Yes	Yes	No	No	No	No	No
HO57	Korumburra Drill Hall 8 Charles Street, Korumburra	No	No	No	No	No	No	No
HO59	Korumburra Strzelecki Memorial Korumburra-Warragul Road (Cnr. Old Bena Road), Korumburra The heritage place comprises memorial and surrounding land to a minimum extent of 2m.	No	No	No	No	No	No	No
HO61	Korumburra Baptist Church Mine Road, Korumburra	No	Yes	No	No	No	No	No

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HO62	Korumburra World War 1 Soldiers Memorial (Coleman Park) Queen Street, Korumburra	No	No	No	No	No	No	No
HO63	Korumburra Comfort Station for Women (former) Radovick Street, Korumburra	No	No	No	No	No	No	No
HO5	Part of Korumburra Railway Station Complex Station Street, Korumburra	No	No	No	No	No	No	No
HO18	Korumburra Railway Station complex Station Street, Korumburra	-	-	-	-	Yes Ref No H1571	No	No
HO143	14 Bridge Street, Korumburra Dwelling	No	No	No	No	No	Yes	No
HO150	21 Bridge St Korumburra Dwelling	No	No	No	No	No	No	No
HO144	23 Bridge Street, Korumburra Dwelling	No	No	No	No	No	Yes	No
HO145	Lismore 48 Bridge Street, Korumburra The heritage place comprises dwelling and land to a depth of 25m from the lot frontage	No	No	No	No	No	No	No
HO146	1A Victoria Street, Korumburra Dwelling The heritage places comprises dwelling and land to a depth of 25m from the lot frontage	No	No	No	No	No	No	No

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	LEONGATHA, KOOROOMAN & DISTRICT							
HO26	Leongatha South State School No. 3251 (former) 7975 Bass Highway, Leongatha South	No	No	No	No	No	No	No
HO64	Springdale 190 Gwyther Siding Road, Leongatha South The heritage place comprises house designed by Harold Desbrowe-Anneer and constructed in 1905 and surrounding land to a minimum extent of 10m.	No	Yes	No	No	No	No	No
HO65	South Gippsland Water Purification Plant Harveys Road, Leongatha The heritage place comprises Ronald M Scott designed brick building (constructed 1958-60) and 1m around the building, excluding plant equipment.	Yes	No	No	No	No	No	No
HO66	Koorooman Avenue of Honour Hydes Road, Koorooman	No	No	Yes	No	No	No	No
HO67	Leongatha Railway Station Long Street, Leongatha	Yes	Yes	Yes	No	No	Yes	No
HO68	Leongatha Strzelecki Memorial Long Street, Leongatha	No	No	No	No	No	No	No
HO69	Canary Island Palms (Phoenix Canariensis) Apex Park, McCartin Street, Leongatha	No	No	Yes	No	No	No	No
HO70	Leongatha Court House (former) 2 McCartin Street, Leongatha	Yes	Yes	No	No	No	No	No
HO71	Leongatha Post & Telegraph Office 4 McCartin Street, Leongatha	Yes	No	No	No	No	No	No

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HO7	Memorial Hall & Woorayl Shire Offices (former) 6-8 McCartin Street, Leongatha	Yes	Yes	No	No	No	Yes	No
HO6	Leongatha Mechanics' Institute & Free Library (former) 10McCartin Street, Leongatha	Yes	Yes	No	No	No	Yes	No
HO72	Leongatha Secondary College (former Leongatha Agricultural College) Nerrena Road, Leongatha	-	-	-	-	Yes Ref No H0949	No	No
HO138	Part Leongatha Secondary College Nerrena Road, Leongatha	No	No	No	No	No	No	No
HO10	Knox's Rockhill Farm complex 530 Nerrena Road, Leongatha	Yes	Yes	No	No	No	Yes	No
HO76	Leongatha Showgrounds Grandstand and Gates Leongatha Recreation Reserve Roughead Street, Leongatha	Yes	No	No	No	No	No	No
HO77	Leongatha World War 1 Memorial Avenue of Honour Wild Dog Valley Road & Yarragon Road, Leongatha	No	No	Yes	No	No	No	No
HO9	Hayes' (PA Dunne's) Store (former) 4 Roughead Street, Leongatha	Yes	Yes	No	No	No	Yes	No
HO8	Leongatha Butter and Cheese Factory (former), corner Strzelecki Highway and Roughead Street	Yes	Yes, limited to the hexagonal terracotta floor tiles	No	No	No	Yes	No

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HO147	42 Brown Street, Leongatha Dwelling The heritage places comprises dwelling and land to a depth of 30m from the lot frontage	No	No	No	No	No	No	No
HO148	Egerton 37 Jeffrey Street, Leongatha Dwelling and stables	No	No	No	Yes - stables	No	No	No
HO149	McGuinness House (later Lamont House) 19 Long Street, Leongatha Dwelling and former boarding house/stable The heritage places comprises dwelling and land to a depth of 35m from the lot frontage	No	No	No	Yes – garages	No	Yes	No
	LOCH							
HO2	Chestnut-Leaved Oaks (Quercus Castaneifolia) Victoria Road, Loch The heritage place comprises the Oaks in the paddock at rear of Loch Catholic Church.	No	No	Yes	No	No	Yes	No
HO83	Loch Primary School No 2912 Victoria Road, Loch	No	No	No	No	No	No	No
	MEENIYAN & DISTRICT							
HO88	Railway Bridge over Tarwin River South Eastern Railway, Meeniyen	No	No	No	No	No	No	No
HO90	Meeniyen Public Hall Whitelaw Street, Meeniyen	No	No	No	No	No	No	No

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HO91	Meeniyen & Stony Creek World War 1 Memorial Whitelaw Street, Meeniyen The heritage place comprises memorial and surrounding land to edge of median strip.	No	No	No	No	No	No	No
	MIRBOO & DISTRICT							
HO22	Mirboo on Tarwin Hall 285 Mirboo South Road, Mirboo	-	-	-	-	Yes Ref No H1973	Yes	No
HO95	Mirboo Shire Hall and Offices (former) 30 Ridgway, Mirboo North	No	Yes	No	No	No	No	No
HO97	Mirboo North Railway Station (former) Ridgway, Mirboo North The heritage place comprises Station building and platform and surrounding land to a minimum extent of 10m.	No	Yes	No	No	No	No	No
HO98	Mirboo North Strzelecki Memorial Ridgway, Mirboo North	No	No	No	No	No	No	No
HO151	Clestron (Ogilvy homestead site and trees) 600 Boolarra South-Mirboo North Road, Mirboo North The heritage place comprises a circle with a diameter of 75m containing group of trees surrounding the former Ogilvie homestead	No	No	Yes	No	No	No	No
HO152	60 Ridgway, Mirboo North Colonial Bank of Australasia (former) and residence	No	No	No	No	No	Yes	No

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	NERRENA & DISTRICT							
HO102	Nerrena Public Hall Nerrena Hall Road, Nerrena	No	No	No	No	No	No	No
	NYORA & DISTRICT							
HO103	Nyora Railway Station Mitchell Street, Nyora	Yes	Yes	No	No	No	Yes	No
HO159	'Aroyn' 379 Lang Lang-Poowong Road, Nyora Statement of Significance: <i>Statement of Significance, "Aroyn" (July 2021)</i>	No	No	No	No	No	No	No
	POOWONG & DISTRICT							
HO1	Wesleyan Church (former) 35 Nyora Road, Poowong	Yes	Yes	No	No	No	Yes	No
HO21	Notched Log Cottage 920 Nyora-Poowong Road, Poowong	-	-	-	-	Yes Ref No H1987	Yes	No
HO104	Poowong World War 1 Soldiers' Memorial Nyora Road, Poowong The heritage place comprises memorial and surrounding land to a minimum extent of 3m.	No	No	No	No	No	No	No
	PORT WELSHPOOL & DISTRICT							
HO17	'Crescent' Turnbull Street, Port Welshpool	Yes	Yes	No	No	No	Yes	No

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	STONY CREEK & DISTRICT							
HO111	'Woodlands' 280 Stony Creek-Dollar Road, Stony Creek The heritage place comprises 2-room house constructed c.1905 and the main homestead constructed in 1924 and surrounding land to a minimum extent of 10m.	No	No	No	No	No	No	No
HO112	Stony Creek Mechanics' Institute & Free Library Main Street, Stony Creek	Yes	Yes	No	No	No	Yes	No
	STRZELECKI							
HO113	Strzelecki Avenue of Honour Korumburra-Warragul Road, Strzelecki	No	No	Yes	No	No	No	No
HO153	Strzelecki railway line (former) – engine turntable site 2 Wild Dog Road, Strzelecki The heritage place comprises a circle with a diameter of 20m located over the turntable bed remains.	No	No	No	No	No	No	No
	TARWIN LOWER & DISTRICT							
HO117	John Simpson Memorial River Drive, Tarwin Lower The heritage place comprises memorial and surrounding cast iron fence and surrounding land to a minimum extent of 2m.	No	No	No	No	No	No	No
HO118	Tarwin Lower Memorial Hall (Former Mechanics' Institute & Free Library) River Drive, Tarwin Lower	Yes	Yes	No	No	No	No	No

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	TOORA & DISTRICT							
HO14	Tin Mines Toora Creamery Valley Road & Woomera Creek Road, Toora	No	No	No	No	No	No	No
HO120	Toora Avenue of Honour Grip Road, Toora	No	No	Yes	No	No	No	No
HO123	Toora State School Jubilee Gates 33 Gray Street, Toora The heritage place comprises memorial gates, surrounding land to a minimum extent of 2m and all of the land between the gates and Grey Street School building frontage.	No	No	No	No	No	No	No
HO127	Toora World War 1 Soldiers' Memorial Welshpool Road, Toora The heritage place comprises memorial and surrounding land to a minimum extent of 5m.	No	No	No	No	No	No	No
HO154	Bank of Victoria (former) and residence 35 Stanley Street, Toora The heritage place comprises the entire lot (Lot 1 TP577245)	No	No	No	No	No	Yes	No
HO155	Ingleside (later Gully Humphrey) 46 Scannells Road, Toora North The heritage place comprises 2 dwellings & surrounding land to a minimum extent of 2m.	No	No	No	No	No	No	No
	TRIDA							
HO156	1790 Grand Ridge Road, Trida The heritage place comprises dwelling and surrounding land to a minimum extent of 2m.	No	No	No	No	No	No	No

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	TURTON'S CREEK & DISTRICT							
HO11	Turton's Creek Goldfield Turton's Creek Road, Turton's Creek	No	No	No	No	No	No	No
	WALKERVILLE & WARATAH BAY							
HO128	Walkerville North Public Hall Bayside Drive, Walkerville	No	No	No	No	No	No	No
HO129	Walkerville Lime Kilns (former) Foreshore reserve, off Bayside Drive, Walkerville South	-	-	-	-	Yes Ref No H2043	No	No
HO130	Bell Point Lime Kilns (former) Foreshore reserve, off Walkerville South Road, Bell Point	-	-	-	-	Yes Ref No H2068	No	No
HO132	The Gap Gale Street & Fish Creek-Waratah Road (Cnr.), Waratah Bay	No	No	Yes	No	No	No	No
	WELSHPOOL							
HO133	Welshpool Avenue of Honour The heritage place comprises the rows of Elm trees planted on the sides of Main Road, Port Welshpool Road & Woorarra Road, Welshpool	No	No	Yes	No	No	No	No
HO134	Norfolk Island Pine Avenue Port Welshpool Road, Welshpool The heritage place comprises Norfolk Island Pines on either side of Port Welshpool Road south of Welshpool.	No	No	Yes	No	No	No	No

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HO135	Welshpool World War 1 Soldiers' Memorial Welshpool Road, Welshpool The heritage place comprises the memorial and surrounding landscape plantings.	No	No	Yes	No	No	No	No
	WONGA & DISTRICT							
HO12	Shearing Shed, 'Wongalee' Wonga	Yes	Yes	No	No	No	Yes	No
	WOOREEN & DISTRICT							
HO137	Wooreen Avenue of Honour Leongatha-Yarragon Road, Wooreen	No	No	Yes	No	No	No	No
	WILSONS PROMONTORY							
HO139	Refuge Cove Wilsons Promontory Wilsons Promontory National Park	-	-	-	-	Yes Ref No H1729	Yes	No
HO19	Wilsons Promontory Lightstation Wilsons Promontory National Park	-	-	-	-	Yes Ref No H1842	Yes	No
HO20	Sealers Cove Sawmill Wilsons Promontory National Park	-	-	-	-	Yes Ref No H2019	Yes	No

SCHEDULE 1 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DDO1**.**TOWNSHIP APPROACH****1.0****Design objectives**

C121sgjp 25/07/2019

To provide for attractive and distinctive town approaches along main roads through measures including the provision of landscape and design controls upon development.

To provide highway travellers with conspicuously located facilities providing information, fuel and refreshments and rest stop areas.

To encourage development that is of an appropriate scale and design quality to enhance township approaches.

To ensure that new development harmonises in scale and design with adjoining residential areas.

2.0**Buildings and works**

C121sgjp 25/07/2019

The following buildings and works requirements apply to an application to construct a building or construct or carry out works: [to comply with MD]

The external walls of all buildings are encouraged to be constructed of brick, stone or concrete.

Buildings should be constructed with a setback of 6 metres from any road.

Land within 2 metres of a road reserve should be planted and maintained with lawn, trees and shrubs to the satisfaction of the responsible authority.

No buildings should be constructed closer to any Residential Zone as determined by the following formula:

- $D = 1.5 + H/2$

Where:

- D = Minimum horizontal distance in metres to a wall from the zone boundary.
- H = Height in metres of the highest part of the wall above the ground with the minimum height being 4 metres.

3.0**Subdivision**

C121sgjp 25/07/2019

None specified.

4.0**Signs**

C121sgjp 25/07/2019

None specified.

5.0**Application requirements**

C121sgjp 25/07/2019

None specified.

6.0**Decision guidelines**

C121sgjp 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 42.03, in addition to those specified in Clause 42.03 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority. Before deciding on an application, the responsible authority must consider the following matters: [to comply with MD]

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- The availability and provision of services for the supply of water, sewerage, drainage, electricity and other services.
- The need for proper disposal of stormwater discharges, sewerage effluent and other liquid wastes, which may be associated with the development.
- The layout of any car park and the location and widths of entrance and exit points, access lanes and roadways and the need for an appropriate pattern of pedestrian and vehicular access to the development.
- The location, nature and type of advertisement which may be associated with the development.
- The location, nature and type of any landscape area which may be incorporated into the development.
- The need to screen storage areas, garbage receptacles and any other items which may have an adverse impact on the amenity of the area.

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SCHEDULE 2 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DDO2**.

BURCHELL LANE INDUSTRIAL PRECINCT

1.0

Design objectives

C115sgjp 13/08/2020

To ensure all development and works enhance the amenity of the Burchell Lane Industrial Precinct by encouraging high quality design and external finishes to buildings and structures, adequate building siting and a high quality landscape.

To ensure that development and works are located to minimise off-site impacts to adjoining residential areas.

To minimise the impact of commercial traffic on adjoining residential amenity and pedestrian traffic.

To improve the pedestrian environment along Peters Street as a focus for pedestrian activity in the town centre.

2.0

Buildings and works

C115sgjp 13/08/2020

A permit is not required to:

- Construct buildings or undertake works which rearrange, alter or renew plant if the area or height of the plant is not increased.
- Construct buildings or undertake works which are used for crop raising or informal outdoor recreation.
- Construct a rainwater tank with a capacity of more than 10,000 litres if the following requirements are met:
 - The rainwater tank is not located within the building's setback from a street (other than a lane).
 - The rainwater tank is no higher than the existing building on the site.
 - The rainwater tank is not located in an area that is provided for car parking, loading, unloading or access way.

Design requirements

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

Building setbacks

- Buildings should have a zero setback to the front title boundary where the lot abuts Peters Street. Buildings should also have a visual connection with the street.

Weather protection

- Buildings fronting Peters Street should be cantilevered over the full pavement width to provide weather protection to pedestrians along Peters Street.

Landscaping

- A 2-metre width of landscaping must be provided along all road abutments, except where there is no building setback, using a suitable selection of trees, shrubs or grasses to the satisfaction of the Responsible Authority. The landscaping should provide appropriate screening of car parking and outdoor storage areas, enhance the amenity of the surrounding area and provide an attractive visual environment for adjoining residential properties.

Access

- Vehicle access to each site should be in a form and location that permits all vehicles to enter and egress safely without causing detrimental effects on the amenity of adjoining residential uses.
- Vehicle crossovers should be provided from Burchell Lane for all properties abutting Burchell Lane.
- No more than one crossover should be provided per lot.

3.0 Subdivision[C121sgip](#) 25/07/2019

None specified.

4.0 Signs[C115sgip](#) 13/08/2020

Sign requirements are at Clause 52.05. All land located within DDO2 is in Category 2.

5.0 Application requirements[C115sgip](#) 13/08/2020

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the Responsible Authority:

- A detailed report that shows how the design objectives of this overlay are met.
- A detailed site plan that shows building setbacks, the location and width of vehicle crossovers, outdoor building display areas and advertising signs.
- Building elevation plans that clearly describe the external building materials and finishes and proposed advertising signs.
- A landscape plan that shows:
 - The location, species and height of all existing vegetation to be retained and/or removed; and
 - A detailed planting schedule that makes reference to the background document *CFA Landscaping for Bushfire November 2011* and uses species selected from Indigenous Plants of South Gippsland Shire (2004), with emphasis on plants from the relevant Ecological Vegetation Class for the planting area.

6.0 Decision guidelines[C115sgip](#) 13/08/2020

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered as appropriate, by the Responsible Authority:

- The extent to which driveways and parking areas have been designed, sited and dimensioned to be visually recessive in the streetscape by:
 - Limiting the number and width of vehicle crossovers.
 - Softening driveways and parking areas with vegetation.
- The need to ensure the safety and efficiency of vehicle movements from properties onto the street network.
- The impact of the built form of the proposed development on the town centre and adjoining residential uses, including:
 - Whether the building height or design would cause the building to be visually prominent within the streetscape.
 - Whether vegetation has been retained or will be planted to soften the appearance of development.
 - Whether buildings provide visual interest through articulation, glazing, verandahs, balconies, eaves and variation in materials and textures and avoid design repetition.
 - Whether the placement of roof top structures and service facilities avoids detrimental impact on the streetscape or adjoining properties.
 - Whether the building setbacks from front, side and rear boundaries are sufficient to allow for the retention or planting of vegetation, including canopy trees.
 - Whether the building setback to Peters Street promotes an attractive pedestrian environment.
- The need to provide for business display areas in appropriate locations.
- Whether the proposed development demonstrates provision of a protected pedestrian environment in Peters Street through the use of cantilevered building design.

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SCHEDULE 3 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DDO3**.

SANDY POINT

1.0

Design objectives

C121sgjp 25/07/2019

Built Form / Landscape Character

To protect ~~and manage~~ the coastal village character of Sandy Point ~~by~~ -

~~To maintain~~ing the predominance of modest, minimal impact housing and the well-vegetated character of allotments.

~~To encourage single storey development, and recessive second storey development that is respectful of the typical built form and the coastal landscape setting.~~

~~To encourage building heights which do not protrude above the existing tree canopy.~~

~~To discourage boundary fencing forward of building frontages, unless this is a timber post and wire fence.~~

~~To minimise the dominance of car parking structures and outbuildings on views from the street and other sensitive viewing locations.~~

Siting and setbacks

~~To ensure that new development is sited and designed so as to be screened by and nestled within the landscaped setting.~~

~~To ensure that new development is appropriately set back from sensitive environmental boundaries. To preserve the spacious landscape setting of the area and soften the appearance of development from the street.~~

Site Coverage

~~To minimise building site coverage and the use of impervious paving materials, in order to preserve the spacious landscape setting of the area.~~

Landscaping and Environment

~~To preserve the pattern of well vegetated and generous front setbacks that screen and soften the appearance of development from the street.~~

~~To encourage informal driveways and crossovers and the use of permeable materials (e.g. gravel, permeable paving) to minimise the visual impact on the street and property frontages.~~

~~To protect and maintain areas of indigenous and native vegetation where possible in new development.~~

~~To encourage the planting of indigenous vegetation in new landscaping.~~

To encourage the integration of best practice water sensitive urban design into the landscape treatments of new development.

Materials and design detail

To ensure that buildings demonstrate a high standard of design and utilise materials, colours and finishes that are in keeping with the natural environment.

2.0

Buildings and works

C121sgjp 25/07/2019

A permit is not required to construct a building or carry out works other than for:

- A building with a height of over 6.5 metres from natural ground level.
- A building that has setbacks of less than 7.5 metres from the front property boundary and 3 metres from any side boundary on a secondary street frontage.
- A development that does not achieve the following site coverage requirements:
 - A building site coverage of no more than 40 per cent;

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- A paved area (permeable paving) of no more than 20 per cent; and
- An area free of buildings or impervious surfaces of at least 40 per cent.
- Buildings or additions to buildings where the total building floor space on a site is greater than 250 square metres.
- Buildings and works where the external materials, colours and finishes are not low reflective, subdued tones to the responsibility of the Responsible Authority.
- A front boundary fence, or side boundary fence forward of the building frontage, that is constructed of materials other than timber post and wire.

Buildings

Encourage single storey development, and recessive second storey development that is respectful of the typical built form and the coastal landscape setting.

Avoid building heights that protrude above the existing tree canopy.

Minimise building site coverage and the use of impervious paving materials, in order to preserve the spacious landscape setting of the area.

Site and design development to be screened by and nestled within the landscaped setting and set back from sensitive environmental boundaries.

Support materials that are muted in colour, blend with the colours of the surrounding landscape, are non-reflective and recessive to the landscape to achieve a pattern of development where buildings do not dominate or stand out from the colours and textures of the surrounding natural environment.

Setbacks

Preserve the pattern of well vegetated and generous front setbacks that screen and soften the appearance of development from the street.

Fences

~~To discourage~~ Avoid boundary fencing forward of building frontages, unless this is a they are constructed of timber post and wire fence.

Access and carparking

~~To m~~ Minimise the dominance of car parking structures and outbuildings on views from the street and other sensitive viewing locations.

Encourage informal driveways and crossovers and the use of permeable materials (e.g. gravel, permeable paving) to minimise the visual impact on the street and property frontages.

Landscaping and vegetation

Protect areas of indigenous and native vegetation.

Encourage the planting of indigenous vegetation in new landscaping.

3.0

Subdivision

C121sgjp 25/07/2019

An application for subdivision within the Township Zone is considered to meet the design objectives where:

- The proposed subdivision maintains the existing character of the area.
- The existing informality of the current road and drainage system is maintained, while achieving improved management of stormwater and runoff.

4.0 Signs

C121sgip 25/07/2019

None specified.

5.0 Application requirements

C121sgip 25/07/2019

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the Responsible Authority:

~~An application to develop land for the purpose of a dwelling or any other building should meet the following requirements: [to comply with MD]~~

- The location of any proposed buildings clearly dimensioned on its allotment.
- Information that describes how the proposal achieves the design outcomes outlined in the decision guidelines of this schedule, in the form of a neighbourhood and site description, and design response.
- The location, type and size of any trees to be removed.
- Sufficient spot heights (to AHD) to enable the slope of the site and the slope of the works area(s) to be determined.
- The location, dimensions and depth of any proposed excavations or fill.
- The colour, finishes and materials to be used on all external surfaces, including the roof.
- A landscape plan retaining existing indigenous and native vegetation where possible and providing a range of trees, shrubs and ground cover in keeping with the surrounding landscape character.

6.0 Decision guidelines

C121sgip 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered as appropriate, by the Responsible Authority:

~~Before deciding on an application, the responsible authority must consider: [to comply with MD]~~

- The design objectives of this schedule.
- ~~Whether the proposal will assist in achieving the Vision, Objectives and Strategies for Sandy Point contained in Clause 21.04. [Duplication of other provisions, contrary to PG]~~
- Whether the location, bulk or scale of the buildings or works will be in keeping with the predominant character and/or enhance the appearance of the area.
- The visual prominence of buildings and other structures within the landscape, particularly above the vegetation line.
- Whether the additional height of a development is required to achieve an exceptional or innovative design outcome that cannot otherwise be achieved, and is able to be substantially screened by the existing and proposed new vegetation and the landform.
- Whether opportunities exist to avoid a building being visually obtrusive by the use of alternative building designs, including split level and staggered building forms that follow the natural slope of the land and reduce the need for site excavation and filling.
- Whether any encroachment of buildings within the minimum setbacks stipulated in this Clause can demonstrate that the development will result in a preferred environmental and design outcome while being consistent with the township and landscape character.
- The impacts of any buildings or works on any prominent ridgelines or locations when viewed from a public place.
- Whether car parking structures, outbuildings and driveways are sited such that the visual impact of these structures and works are minimized.

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- Whether buildings and structures are sited to incorporate space for the planting of substantial vegetation, including canopy trees.
- The preservation of any existing natural vegetation, particularly indigenous vegetation.
- Whether the landscaping will be integrated with the design of the development to screen buildings and structures and complement the landscaping of any adjoining public realm.
- Whether the siting, colour and design of buildings and works will be in keeping with the character and/or enhance the appearance of the area.
- The effect of any proposed subdivision or development on the environmental and landscape values of the site and of the local area.

A permit is required for all other buildings and works.

7.0 — ~~Background documents~~

~~Urban Design Framework: Settlement Background Paper, Sandy Point, (Connell Wagner, 2006)~~

~~THE SITING AND DESIGN GUIDELINES FOR STRUCTURES ON THE VICTORIAN COAST (VICTORIAN COASTAL COUNCIL, 1998)~~ [NOT AS PER MD FORMAT – THESE BACKGROUND DOCUMENTS ARE LISTED AT 72.08]

SCHEDULE 4 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

C121sgip 25/07/2019

Shown on the planning scheme map as **DDO4**.**WARATAH BAY****1.0****Design objectives**

C121sgip 25/07/2019

Built Form / Landscape Character**All Areas**

To protect ~~and manage~~ the coastal hamlet character and reinforce the identity of the two distinct residential areas of Waratah Bay.

To maintain the predominance of modest, minimal impact housing and the well-vegetated character of allotments.

To prevent the interruption of views towards the coast by inappropriate or poorly designed development or that which is sited in prominent locations.

To preserve the pattern of well vegetated and generous front setbacks that screen and soften the appearance of development from the street.

To ensure that buildings demonstrate a high standard of design and utilise materials, colours and finishes that are in keeping with the natural environment.

~~To maintain the predominance of modest, minimal impact housing and the well-vegetated character of allotments.~~

~~To encourage single storey development and recessive second storey development that is respectful of the typical built form and the coastal landscape setting.~~

~~To ensure that new development demonstrates a high standard of contemporary design and innovation and respects the low scale and the typical mass and form of the area.~~

~~To discourage boundary fencing forward of building frontages, unless this is a timber post and wire fence.~~

~~To minimise the dominance of car parking structures and outbuildings associated with residential development on views from the street and other sensitive viewing locations.~~

Township Zone

~~To maintain the predominant modest, minimal impact cottage style housing and well vegetated character of allotments.~~

Low Density Residential Zone

~~To ensure that new development demonstrates a high standard of contemporary design and complements the coastal setting.~~

~~To maintain the reclusive, well vegetated character of the area.~~

~~To encourage low profile development in order to minimise visual impact on views towards the ridgeline from other parts of the hamlet.~~

Siting and setbacks

~~To ensure that new development is sited and designed so as to be screened by and nestled within the landscaped setting.~~

~~To ensure that new development is appropriately set back from sensitive environmental boundaries.~~

~~To ensure that buildings and structures are strategically sited within the landscape in order to maintain the sense of isolation experienced from the beach.~~

Views

~~To minimise the visual impact of development from key viewing locations, particularly town approaches and high points in the dunal landscape.~~

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~~To maintain and enhance the public views from the northern upper low density residential area across Waratah Bay and Bass Strait.~~

~~To prevent the interruption of views towards the coast by inappropriate or poorly designed development or that which is sited in prominent locations.~~

~~Site Coverage~~

~~To minimise building site coverage and the use of impervious paving materials, in order to preserve the spacious landscape setting of the area.~~

~~Landscaping and Environment~~

~~To preserve the pattern of well vegetated and generous front setbacks that screen and soften the appearance of development from the street.~~

~~To encourage informal driveways and crossovers and the use of permeable materials (e.g. gravel, permeable paving) to minimise the visual impact on the street and property frontages.~~

~~To protect and maintain areas of indigenous, native and non-weedy exotic vegetation where possible in new development.~~

~~To encourage the planting of indigenous vegetation in new landscaping.~~

~~To encourage the integration of best practice water sensitive urban design into the landscape treatments of new development.~~

~~Materials and design detail~~

~~To ensure that buildings demonstrate a high standard of design and utilise materials, colours and finishes that are in keeping with the natural environment.~~

2.0

Buildings and works

C121sgjp 25/07/2019

Permit requirement – Township Zone

A permit is not required to construct a building or carry out works other than for:

- A building with a height of more than 6.5 metres from natural ground level.
- A building that has setbacks of less than 7.5 metres from the front property boundary and 3 metres from any side boundary on a secondary street frontage.
- A development that does not achieve the following site coverage requirements:
 - A building site coverage of no more than 40 per cent;
 - A paved area (permeable paving) of no more than 20 per cent; and
 - An area free of buildings or impervious surfaces of at least 40 per cent.
- Buildings or additions to buildings where the total building floor space on the site is greater than 250 square metres.
- Buildings and works where the external materials, colours and finishes are not low reflective, subdued tones to the satisfaction of the Responsible Authority.
- A front boundary fence, or side boundary fence forward of the building frontage, that is constructed of materials other than timber post and wire.

Permit requirement – Low Density Residential Zone

A permit is not required to construct a building or carry out works other than for:

- A building with a height of over 7.5 metres from natural ground level.
- A building that has setbacks of less than 12 metres from the front property boundary and 3 metres from a side boundary or rear boundary.
- A development that does not achieve the following site coverage requirements:
 - A paved area (permeable paving) of no more than 20 per cent; and
 - An area free of buildings or impervious surfaces of at least 40 per cent.
- Buildings or additions to buildings where the total building floor space on the site is greater than 300 square metres.

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- Buildings and works where the external materials, colours and finishes are not low reflective, subdued tones to the satisfaction of the Responsible Authority.
- A boundary fence constructed of materials other than timber post and wire.

A permit is required for all other buildings and works.

Views

Minimise the visual impact of development from key viewing locations, particularly town approaches and high points in the dunal landscape.

Enhance the public views from the northern upper low density residential area across Waratah Bay and Bass Strait.

Buildings

To maintain the predominance of modest, minimal impact housing and the well vegetated character of allotments.

To encourage single storey development and recessive second storey development that is respectful of the typical built form and the coastal landscape setting.

To ensure that new development demonstrates a high standard of contemporary design and innovation and respects the low scale and the typical mass and form of the area.

To maintain the predominant modest, minimal impact cottage style housing and well vegetated character of allotments in the Township Zone.

To ensure that development demonstrates a high standard of contemporary design and complements the coastal setting, maintains the reclusive, well vegetated character of the area in the Low Density Residential Zone.

Encourage low-profile development in the Low Density Residential Zone to minimise visual impact on views towards the ridgeline from other parts of Waratah Bay.

Support materials that are muted in colour, blend with the colours of the surrounding landscape, are non-reflective and recessive to the landscape to achieve a pattern of development where buildings do not dominate or stand out from the colours and textures of the surrounding natural environment.

Site and design buildings to be screened by and nestled within the landscaped setting.

Set development back from sensitive environmental boundaries.

Strategically site buildings within the landscape in order to maintain the sense of isolation experienced from the beach.

Minimise building site coverage and the use of impervious paving materials to preserve the spacious landscape setting of the area.

Fencing

To discourage boundary fencing forward of building frontages, unless this is a timber post and wire fence.

Carparking

To minimise the dominance of car parking structures and outbuildings associated with residential development on views from the street and other sensitive viewing locations.

Township Zone

To maintain the predominant modest, minimal impact cottage style housing and well vegetated character of allotments.

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Low Density Residential Zone

To ensure that new development demonstrates a high standard of contemporary design and complements the coastal setting.

To maintain the reclusive, well vegetated character of the area

To encourage low profile development in order to minimise visual impact on views towards the ridgeline from other parts of the hamlet.

Siting and setbacks

To ensure that new development is sited and designed so as to be screened by and nestled within the landscaped setting.

To ensure that new development is appropriately set back from sensitive environmental boundaries.

To ensure that buildings and structures are strategically sited within the landscape in order to maintain the sense of isolation experienced from the beach.

Views

To minimise the visual impact of development from key viewing locations, particularly town approaches and high points in the dunal landscape.

To maintain and enhance the public views from the northern upper low density residential area across Waratah Bay and Bass Strait.

To prevent the interruption of views towards the coast by inappropriate or poorly designed development or that which is sited in prominent locations.

Site Coverage

To minimise building site coverage and the use of impervious paving materials, in order to preserve the spacious landscape setting of the area.

Landscaping and Environment

To preserve the pattern of well vegetated and generous front setbacks that screen and soften the appearance of development from the street.

To encourage informal driveways and crossovers and the use of permeable materials (e.g. gravel, permeable paving) to minimise the visual impact on the street and property frontages.

To protect and maintain areas of indigenous, native and non-weedy exotic vegetation, where possible in new development.

To encourage the planting of indigenous vegetation in new landscaping.

To encourage the integration of best practice water sensitive urban design into the landscape treatments of new development.

Materials and design detail

To ensure that buildings demonstrate a high standard of design and utilise materials, colours and finishes that are in keeping with the natural environment.

3.0

Subdivision

C121sgjp 25/07/2019

An application for subdivision is considered to meet the design objectives where:

- The proposed subdivision maintains the existing character of the area.
- The existing informality of the current road and drainage system is maintained, while achieving improved management of stormwater and runoff and providing for anticipated increases in traffic demand.

4.0 Signs

C121sgip 25/07/2019

None specified.

5.0 Application requirements

C121sgip 25/07/2019

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the Responsible Authority:

An application to develop land for the purpose of a dwelling or any other building should meet the following requirements: [to comply with MD]

- The location of any proposed buildings clearly dimensioned on its allotment.
- Information that describes how the proposal achieves the design outcomes outlined in the decision guidelines of this schedule, in the form of a neighbourhood and site description, and design response.
- The location, type and size of any trees to be removed.
- Sufficient spot heights (to AHD) to enable the slope of the site and the slope of the works area(s) to be determined.
- The location, dimensions and depth of any proposed excavations or fill.
- The colour, finishes and materials to be used on all external surfaces, including the roof.
- A landscape plan retaining existing indigenous and native vegetation where possible and providing a range of trees, shrubs and ground cover in keeping with the surrounding landscape character.

6.0 Decision guidelines

C121sgip 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered as appropriate, by the Responsible Authority:

Before deciding on an application, the responsible authority must consider: [to comply with MD]

*—The design objectives of this schedule. [Already required in parent provision]

- Whether the proposal will assist in achieving the Vision, Objectives and Strategies for Waratah Bay contained in Clause 21.04. [Duplication of other provisions, contrary to PG]
- Whether the location, bulk or scale of the buildings or works will be in keeping with the predominant character and/or enhance the appearance of the area.
- The visual prominence of buildings and other structures within the landscape, particularly above the vegetation line.
- Whether the additional height of a development is required to achieve an exceptional or innovative design outcome that cannot otherwise be achieved, and is able to be substantially screened by the existing and proposed new vegetation and the landform.
- Whether opportunities exist to avoid a building being visually obtrusive such as along a ridgeline by the use of alternative building designs, including split level and staggered building forms that follow the natural slope of the land and reduce the need for site excavation and filling.
- Whether any encroachment of buildings within the minimum setbacks stipulated in this Clause can demonstrate that the development will result in a preferred environmental and design outcome while being consistent with the township and landscape character.
- Whether car parking structures, outbuildings and driveways are sited such that the visual impact of these structures and works are minimized.
- Whether buildings and structures are sited to incorporate space for the planting of substantial vegetation, including canopy trees.
- The preservation of any existing natural vegetation, particularly indigenous vegetation.

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- Whether the landscaping will be integrated with the design of the development to screen buildings and structures and complement the landscaping of any adjoining public realm.
- Whether the siting, colour and design of buildings and works will be in keeping with the character and/or enhance the appearance of the area.
- The effect of any proposed subdivision or development on the environmental and landscape values of the site and of the local area.

A permit is required for all other buildings and works.

7.0 — Background documents

Urban Design Framework: Settlement Background Paper, Waratah Bay (Connell Wagner, 2006)

Siting and Design Guidelines for Structures on the Victorian Coast (Victorian Coastal Council, 1998)

[not as per MD format, these background documents are listed at 72.08]

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SCHEDULE 5 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DDO5**.

VENUS BAY

1.0

Design objectives

C121sgjp 25/07/2019

~~Built Form / Landscape Character~~

All Areas

To protect and manage the coastal village character of Venus Bay.

To encourage low scale development that is sited so to be screened by and nestled within indigenous vegetation in the Township Zone.

To ensure that new development demonstrates a high standard of contemporary design and innovation, and respect the low scale and typical mass and form of the area in the Low Density Residential Zone.

To minimise the visual impact of development from key viewing locations, particularly township approaches and high points in the dunal landscape.

To retain and enhance the vegetation dominated coastal scrub character.

~~Built Form / Landscape Character~~

~~To encourage single storey development, and recessive second storey development that is respectful of the typical built form and the coastal landscape setting.~~

~~To encourage building heights which do not protrude above the existing tree canopy.~~

~~To discourage boundary fencing forward of building frontages other than timber post and wire fence.~~

~~To minimise the dominance of car parking structures and outbuildings associated with residential development, on views from the street and other sensitive viewing locations.~~

~~To ensure that the style, scale, height, mass and form of new commercial development is consistent with that of adjoining sites and respects the low profile coastal character of Venus Bay.~~

Township Zone

~~To encourage low scale development that is sited so to be screened by and nestled within indigenous vegetation.~~

~~To retain and enhance the vegetation dominated coastal scrub character.~~

Low Density Zone

~~To ensure that new development demonstrates a high standard of contemporary design and innovation, and respect the low scale and typical mass and form of the area.~~

~~To maintain the reclusive, well vegetated character of the area.~~

Siting and setbacks

~~To ensure that new development is sited and designed so as to maximise the degree to which it is absorbed in the landscape.~~

~~To ensure that new development is appropriately set back from sensitive environmental boundaries.~~

Site Coverage

~~To minimise building site coverage and the use of impervious paving materials, in order to preserve the spacious landscape setting of the area.~~

Views

~~To minimise the visual impact of development from key viewing locations, particularly township approaches and high points in the dunal landscape.~~

~~To maintain or re-establish vegetation dominated views throughout the area.~~

~~To maintain views across the flood plain towards the Tarwin River and Anderson Inlet.~~

~~To prevent the interruption of views by inappropriate or poorly designed development or that which is sited in prominent locations.~~

Landscaping and Environment

~~To preserve the pattern of well-vegetated and generous front setbacks that screen and soften the appearance of development from the street.~~

~~To encourage informal driveways and crossovers and the use of permeable materials (e.g. gravel, permeable paving) to minimise the visual impact on the street and property frontages.~~

~~To encourage the planting of indigenous vegetation in new landscaping.~~

~~To encourage the integration of best practice water sensitive urban design into the landscape treatments of new development.~~

Materials and design detail

~~To ensure that buildings demonstrate a high standard of design and utilise materials, colours and finishes that are in keeping with the natural environment.~~

2.0**Buildings and works**

C121sgjp 25/07/2019

Permit requirement – Township Zone

A permit is not required to construct a building or carry out works other than for:

- A building with a height of more than 6.5 metres from natural ground level.
- A building that has setbacks of less than 7.5 metres from the front property boundary and 3 metres from any side boundary on a secondary street frontage..
- A development that does not achieve the following site coverage requirements:
 - A building site coverage of no more than 40 per cent;
 - A paved area (permeable paving) of no more than 20 per cent; and
 - An area free of buildings or impervious surfaces of at least 40 per cent.
- Buildings or additions to buildings where the total ~~building floor space~~ net floor area on the site is greater than 250 square metres. [changed to be a defined term]
- Buildings and works where the external materials, colours and finishes are not low reflective, subdued tones to the satisfaction of the Responsible Authority.
- A front boundary fence, or side boundary fence forward of the building frontage, that is constructed of materials other than timber post and wire.

Permit requirement – Low Density Residential Zone

A permit is not required to construct a building or carry out works other than for:

- A building with a height of over 7.5 metres from natural ground level.
- A building that has setbacks of less than 12 metres from the front property boundary and 3 metres from a side boundary or rear boundary.
- A development that does not achieve the following site coverage requirements:
 - A paved area (permeable paving) of no more than 20 per cent; and
 - An area free of buildings or impervious surfaces of at least 40 per cent.
- Buildings or additions to buildings where the total building floor space on the site is greater than 300 square metres.
- Buildings and works where the external materials, colours and finishes are not low reflective, subdued tones to the satisfaction of the Responsible Authority..
- A boundary fence constructed of materials other than timber post and wire.

A permit is required for all other buildings and works.

Built form and landscape character

Encourage single storey development, and recessive second storey development that is respectful of the typical built form and the coastal landscape setting.

Encourage building heights which do not protrude above the existing tree canopy.

Discourage boundary fencing forward of building frontages other than timber post and wire fence.

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Minimise the dominance of car parking structures and outbuildings associated with residential development, on views from the street and other sensitive viewing locations.

Ensure that the style, scale, height, mass and form of new commercial development is consistent with that of adjoining sites and respects the low profile coastal character of Venus Bay.

-

Maintain the reclusive, well vegetated character of Low Density Residential Zone areas..

Siting and setbacks

Ensure that new development is sited and designed so as to maximise the degree to which it is absorbed in the landscape.

Ensure that new development is appropriately set back from sensitive environmental boundaries.

Site Coverage

Minimise building site coverage and the use of impervious paving materials, in order to preserve the spacious landscape setting of the area.

Views

Maintain or re-establish vegetation dominated views throughout the area.

Maintain views across the flood plain towards the Tarwin River and Anderson Inlet.

Avoid the interruption of views by inappropriate or poorly designed development or that which is sited in prominent locations.

Landscaping and Environment

Preserve the pattern of well-vegetated and generous front setbacks that screen and soften the appearance of development from the street.

Encourage informal driveways and crossovers and the use of permeable materials (e.g. gravel, permeable paving) to minimise the visual impact on the street and property frontages.

Encourage the planting of indigenous vegetation in new landscaping.

Encourage the integration of best practice water sensitive urban design into the landscape treatments of new development.

Materials and design detail

Ensure that buildings demonstrate a high standard of design and utilise materials, colours and finishes that are in keeping with the natural environment.

3.0 Subdivision

C121sgjp 25/07/2019

An application for subdivision is considered to meet the design objectives where:

- The proposed subdivision maintains the existing character of the area.
- The existing informality of the current road and drainage system is maintained, while achieving improved management of stormwater and runoff and providing for anticipated increases in traffic demand.

4.0 Signs

C121sgjp 25/07/2019

None specified.

5.0 Application requirements

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the Responsible Authority: [to comply with MD]

An application to develop land for the purpose of a dwelling or any other building should meet the following requirements:

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- The location of any proposed buildings clearly dimensioned on its allotment.
- Information that describes how the proposal achieves the design outcomes outlined in the decision guidelines of this schedule, in the form of a neighbourhood and site description, and design response.
- The location, type and size of any trees to be removed.
- Sufficient spot heights (to AHD) to enable the slope of the site and the slope of the works area(s) to be determined.
- The location, dimensions and depth of any proposed excavations or fill.
- The colour, finishes and materials to be used on all external surfaces, including the roof.
- A landscape plan retaining existing indigenous and native vegetation where possible and providing a range of trees, shrubs and ground cover in keeping with the surrounding landscape character.

6.0

Decision guidelines

C121sgip 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered as appropriate, by the Responsible Authority:

Before deciding on an application, the responsible authority must consider: [to comply with MD]

- ~~The design objectives of this schedule.~~ [Already required in the parent provision]
- ~~Whether the proposal will assist in achieving the Vision, Objectives and Strategies for Venus Bay contained in Clause 21.04.~~ [duplication of other provisions, contrary to PG]
- Whether the location, bulk or scale of the buildings or works will be in keeping with the predominant character and/or enhance the appearance of the area.
- The visual prominence of buildings and other structures within the landscape, particularly above the vegetation line.
- Whether the additional height of a development is required to achieve an exceptional or innovative design outcome that cannot otherwise be achieved, and is able to be substantially screened by the existing and proposed new vegetation and the landform.
- Whether opportunities exist to avoid a building being visually obtrusive by the use of alternative building designs, including split level and staggered building forms that follow the natural slope of the land and reduce the need for site excavation and filling.
- Whether any encroachment of buildings within the minimum setbacks stipulated in this Clause can demonstrate that the development will result in a preferred environmental and design outcome while being consistent with the township and landscape character.
- Whether car parking structures, outbuildings and driveways are sited such that the visual impact of these structures and works are minimized.
- Whether buildings and structures are sited to incorporate space for the planting of substantial vegetation, including canopy trees.
- The preservation of any existing natural vegetation, particularly indigenous vegetation.
- Whether the landscaping will be integrated with the design of the development to screen buildings and structures and complement the landscaping of any adjoining public realm.
- Whether the siting, colour and design of buildings and works will be in keeping with the character and/or enhance the appearance of the area.
- The effect of any proposed subdivision or development on the environmental and landscape values of the site and of the local area.

7.0

Background documents

Urban Design Framework: Settlement Background Paper, Venus Bay (Connell Wagner, 2006)

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~~SITING AND DESIGN GUIDELINES FOR STRUCTURES ON THE VICTORIAN
COAST (VICTORIAN COASTAL COUNCIL, 1998)~~ [NOT AS PER MD FORMAT, THESE
BACKGROUND DOCUMENTS ARE LISTED AT 72.08]

SCHEDULE 6 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

C121sgip 25/07/2019

Shown on the planning scheme map as **DDO6**.**TARWIN LOWER****1.0****Design objectives**

C121sgip 25/07/2019

All Types of Development

To protect and manage the character of this small rural hamlet and commercial precinct.

To improve the visual appearance and image of the Tarwin Lower retailing areas through well designed, site responsive developments that maintain the reclusive, well vegetated character of the area.

To consolidate and distinguish the commercial precinct of Tarwin Lower from adjacent residential areas.

To encourage single storey residential development and recessive second storey residential development that is respectful of the typical built form and rural landscape setting.

To maintain views and provide a visual link towards the Tarwin River and surrounding flood plains.

Commercial Development fronting Evergreen Road between Walkerville Road and School Road

~~To improve the visual appearance and image of the Tarwin Lower retailing areas through well designed, site responsive developments.~~

~~To consolidate and distinguish the commercial precinct of Tarwin Lower from adjacent residential areas.~~

~~To ensure new development within the commercial precinct will respect the rural character of the hamlet and be sympathetic to the distinguishing elements of the Tarwin River frontage and associated recreational area which abuts the precinct.~~

~~To encourage urban design improvements to provide variety, interest, safety, shelter and convenience for people using the commercial precinct.~~

~~To ensure that new commercial development is consistent in style, scale, height, mass and form, and respects the low profile character of Tarwin Lower.~~

~~To encourage buildings to abut front property boundaries to create a consistent building line, and to abut side boundaries where possible.~~

~~To create active frontages onto Evergreen Road and provide clear views between the building and street through the use of clear glazing.~~

~~To encourage the provision of verandahs or other pedestrian shelter above the footpath in front of new commercial or industrial buildings.~~

~~To encourage appropriate business identification signage, and discourage signage above verandahs or signage which dominates or is out of scale with the building or the streetscape.~~

~~To discourage the provision of car parking areas within the front setback to development.~~

Residential Development**Built Form / Landscape Character:****All areas**

~~To encourage single storey development and recessive second storey development that is respectful of the typical built form and rural landscape setting.~~

~~To maintain views and provide a visual link towards the Tarwin River and surrounding flood plains.~~

Township Zone

~~To encourage low scale development that is sited so as to be screened by and nestled within indigenous vegetation.~~

Low Density Zone

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~~To maintain the reclusive, well vegetated character of the area.~~

Siting and setbacks

~~To ensure that new development is sited and designed so as to be screened by and nestled within the landscaped setting.~~

~~To ensure that new development is appropriately set back from sensitive environmental boundaries.~~

Site Coverage

~~To minimise building site coverage and the use of impervious paving materials, in order to preserve the spacious landscape setting of the area.~~

Landscaping and Environment

~~To preserve the pattern of well vegetated and generous front setbacks that screen and soften the appearance of development from the street.~~

~~To encourage informal driveways and crossovers and the use of permeable materials (e.g. gravel, permeable paving) to minimise the visual impact on the street and property frontages.~~

~~To protect and maintain areas of indigenous and native vegetation where possible in new development.~~

~~To encourage the planting of indigenous vegetation in new landscaping.~~

~~To encourage the integration of best practice water sensitive urban design into the landscape treatments of new development.~~

Materials and design detail

~~To ensure that buildings demonstrate a high standard of design and utilise materials, colours and finishes that are in keeping with the natural environment.~~

2.0

Buildings and works

C121sgip 25/07/2019

Permit requirement – Township Zone

A permit is not required to construct a building or carry out works other than for:

- A building with a height of more than 7.5 metres from natural ground level.
- A building that has setbacks of less than 7.5 metres from the front property boundary and 3 metres from any side boundary on a secondary street frontage.
- A development that does not achieve the following site coverage requirements:
 - A building site coverage of no more than 40 per cent;
 - A paved area (permeable paving) of no more than 20 per cent; and
 - An area free of buildings or impervious surfaces of at least 40 per cent.
- Buildings or additions to buildings where the total building floor space on the site is greater than 250 square metres.
- Buildings and works where the external materials, colours and finishes are not low reflective, subdued tones to the satisfaction of the Responsible Authority.
- A front boundary fence, or side boundary fence forward of the building frontage, that is constructed of materials other than timber post and wire.

Permit requirement – Low Density Residential Zone

A permit is not required to construct a building or carry out works other than for:

- A building with a height of over 7.5 metres from natural ground level.
- A building that has setbacks of less than 12 metres from the front property boundary and 3 metres from a side boundary or rear boundary.
- A development that does not achieve the following site coverage requirements:
 - A paved area (permeable paving) of no more than 20 per cent; and
 - An area free of buildings or impervious surfaces of at least 40 per cent.
- Buildings or additions to buildings where the total building floor space on the site is greater than 300 square metres.

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- Buildings and works where the external materials, colours and finishes are not low reflective, subdued to the satisfaction of the Responsible Authority.
- A boundary fence constructed of materials other than timber post and wire.

A permit is required for all other buildings and works.

Commercial Development fronting Evergreen Road between Walkerville Road and School Road

Ensure new development within the commercial precinct will respect the rural character of the hamlet and be sympathetic to the distinguishing elements of the Tarwin River frontage and associated recreational area which abuts the precinct.

Encourage urban design improvements to provide variety, interest, safety, shelter and convenience for people using the commercial precinct.

Ensure that new commercial development is consistent in style, scale, height, mass and form, and respects the low profile character of Tarwin Lower.

Encourage buildings to abut front property boundaries to create a consistent building line, and to abut side boundaries where possible.

Create active frontages onto Evergreen Road and provide clear views between the building and street through the use of clear glazing.

Encourage the provision of verandahs or other pedestrian shelter above the footpath in front of new commercial or industrial buildings.

Encourage appropriate business identification signage, and discourage signage above verandahs or signage which dominates or is out of scale with the building or the streetscape.

Discourage the provision of car parking areas within the front setback to development.

Residential Development

Built Form / Landscape Character:

All areas

Township Zone

Encourage low scale development that is sited so as to be screened by and nestled within indigenous vegetation.

Siting and setbacks

Ensure that new development is sited and designed so as to be screened by and nestled within the landscaped setting.

Ensure that new development is appropriately set back from sensitive environmental boundaries.

Site Coverage

Minimise building site coverage and the use of impervious paving materials, in order to preserve the spacious landscape setting of the area.

Landscaping and Environment

Preserve the pattern of well vegetated and generous front setbacks that screen and soften the appearance of development from the street.

Encourage informal driveways and crossovers and the use of permeable materials (e.g. gravel, permeable paving) to minimise the visual impact on the street and property frontages.

Protect and maintain areas of indigenous and native vegetation where possible in new development.

Encourage the planting of indigenous vegetation in new landscaping.

Encourage the integration of best practice water sensitive urban design into the landscape treatments of new development.

Materials and design detail

Ensure that buildings demonstrate a high standard of design and utilise materials, colours and finishes that are in keeping with the natural environment.

3.0 Subdivision

C121sgjp 25/07/2019

An application for subdivision is considered to meet the design objectives where:

- The proposed subdivision maintains the existing character of the area.
- The existing informality of the current road and drainage system is maintained, while achieving improved management of stormwater and runoff and providing for anticipated increases in traffic demand.

4.0 Signs

C121sgjp 25/07/2019

None specified.

5.0 Application requirements

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the Responsible Authority: An application to develop land for the purpose of a dwelling or any other building should meet the following requirements: [to comply with MD]

- The location of any proposed buildings clearly dimensioned on its allotment.
- Information that describes how the proposal achieves the design outcomes outlined in the decision guidelines of this schedule, in the form of a neighbourhood and site description, and design response.
- The location, type and size of any trees to be removed.
- Sufficient spot heights (to AHD) to enable the slope of the site and the slope of the works area(s) to be determined.
- The location, dimensions and depth of any proposed excavations or fill.
- The colour, finishes and materials to be used on all external surfaces, including the roof.
- A landscape plan retaining existing indigenous and native vegetation where possible and providing a range of trees, shrubs and ground cover in keeping with the surrounding landscape character.

6.0 Decision guidelines

C121sgjp 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered as appropriate, by the Responsible Authority:

~~Before deciding on an application, the responsible authority must consider: [to comply with MD]~~

All Development

- ~~The design objectives of this schedule~~ [Already a requirement of the parent provision].
- ~~Whether the proposal will assist in achieving the Vision, Objectives and Strategies for Tarwin Lower contained in Clause 21.04.~~ [duplication of other provisions, contrary to PG]

Commercial and industrial development fronting Evergreen Road, between Walkerville Road and School Road:

- Whether the design of commercial or industrial buildings has regard to its appearance from the riverfront and nearby public spaces.
- Whether the use of colour, verandahs and architectural features achieves consistency with the existing built form.
- Whether advertising ~~signs~~ signage is appropriate to the rural hamlet context and does not create visual clutter or dominate the building or landscape.
- The effect of any proposed works on the environmental and landscape values of the site and of the local area.

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- Whether the style, colours, height and form of development will be in keeping with the character and/or enhance the appearance of the area.
- The use of innovative urban design techniques to improve the variety, interest, safety and convenience of the commercial precinct.
- Whether any proposed building which does not abut side boundaries requires access along a side boundary to the rear of the building.
- Whether the proposed development is consistent with the bulk, scale and form of development within the commercial precinct.
- Whether the proposed development is sympathetic to adjoining sites and can be well distinguished as part of the core commercial precinct.
- The effect of the development on the riverfront and adjacent residential areas.
- Whether the height, siting and setback of development provides for the reasonable sharing of views.

Residential Development

- Whether the location, bulk or scale of the buildings or works will be in keeping with the predominant character and/or enhance the appearance of the area.
- The visual prominence of buildings and other structures within the landscape, particularly above the vegetation line.
- Whether the additional height of a development is required to achieve an exceptional or innovative design outcome that cannot otherwise be achieved, and is able to be substantially screened by the existing and proposed new vegetation and the landform.
- Whether opportunities exist to avoid a building being visually obtrusive by the use of alternative building designs, including split level and staggered building forms that follow the natural slope of the land and reduce the need for site excavation and filling.
- Whether any encroachment of buildings within the minimum setbacks stipulated in this Clause can demonstrate that the development will result in a preferred environmental and design outcome while being consistent with the township and landscape character.
- Whether car parking structures, outbuildings and driveways are sited such that the visual impact of these structures and works are minimized.
- Whether buildings and structures are sited to incorporate space for the planting of substantial vegetation, including canopy trees.
- The preservation of any existing natural vegetation, particularly indigenous vegetation.
- Whether the landscaping will be integrated with the design of the development to screen buildings and structures and complement the landscaping of any adjoining public realm.
- Whether the siting, colour and design of buildings and works will be in keeping with the character and/or enhance the appearance of the area.
- The effect of any proposed subdivision or development on the environmental and landscape values of the site and of the local area.

7.0 Background documents

*Urban Design Framework: Settlement Background Paper, Tarwin Lower (Connell Wagner, 2006) –
Siting and Design Guidelines for Structures on the Victorian Coast (Victorian Coastal Council, 1998).*
[not as per MD format, these background documents are listed at 72.08]

SCHEDULE 7 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DDO7**.**KORUMBURRA INDUSTRIAL AREA HIGHWAY PRECINCT****1.0****Design objectives**

C121sgjp 25/07/2019

To ensure that the standard of development in the Korumburra Industrial Precinct adjoining the South Gippsland Highway frontage is of high quality and visually stimulating.

To recognise that the precinct is situated at the main gateway to Korumburra and that the design and layout of buildings and signage should enhance the visual quality and amenity of the gateway.

2.0**Buildings and works**

C121sgjp 25/07/2019

The following buildings and works requirements apply to an application to construct a building or construct or carry out works: [to comply with MD]

Setback and landscape

- All buildings must be setback at least:
 - 25 metres from the northern boundary fronting the South Gippsland Highway.
 - 15 metres from Sanders Street.
 - 10 metres from the eastern boundary with the Recreation Reserve.
- The building setbacks must be used for vegetation landscaping providing a minimum buffer depth of:
 - 10 metres from the northern boundary fronting the South Gippsland Highway (inclusive of the Council Reserve 2 LP116539).
 - 5 metres from Sanders Street.
 - 10 metres from the eastern boundary with the Recreation Reserve. This setback is to be used solely for landscaping.
- Landscape plantings in the South Gippsland Highway and Sanders Street buffers should be designed to soften and integrate development through the establishment of native grasses, shrubs and dispersed canopy trees, which at maturity will allow direct views to be maintained from the road to the commercial uses.
- Planting within the eastern boundary buffer should be designed to maximise visual screening.
- Development proposals immediately south of Council Reserve 2 LP116539 should incorporate the Reserve land adjoining the development in their landscape plan.
- Car parking must not be provided in the above specified landscape buffers.
- Car parking areas should be landscaped to diminish their visual impact.

Site layout and buildings

- Buildings should be designed in a contemporary and creative manner.
- Elevations addressing the South Gippsland Highway should be articulated to avoid homogenous building lines.
- Floor area coverage must not exceed 60% of the overall site area.
- Loading, service functions, external storage areas and garbage receptacles must be sited to the side or rear of premises and appropriately screened to reduce their visual impact.
- Vehicle access to the site should be restricted to the Sanders Street frontage.
- External display areas sited forward of building front elevations must be modest in scale and not dominate the setback or landscaping.
- All driveways and car parking areas must be constructed of an impervious all weather seal coat such as concrete or bitumen.

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- All structures on rooftops, including air conditioning units and fans, must be appropriately screened to reduce their visual impact.
- Development and site layout must enable vehicles to move to and from the site in a forward direction.
- Front fencing is discouraged and if required, should not exceed 1.2 metres height and be visually permeable.

3.0 **Subdivision**

C121sgjp 25/07/2019

None specified.

4.0 **Signs**

C121sgjp 25/07/2019

Sign requirements are at Clause 52.05. All land located within this Schedule to this zone is in Category 2.

Signage should be simple, clear business identification signage that complements the western township entry.

Totem signs promoting businesses within the industrial estate may be sited within or forward of the landscape areas provided they are appropriately designed and sympathetic to a town entry location.

5.0 **Application requirements**

C121sgjp 25/07/2019

None specified.

6.0 **Decision guidelines**

C121sgjp 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered as appropriate, by the Responsible Authority:

~~Before deciding on an application the responsible authority must consider, as appropriate:~~ [to comply with MD]

- Whether the appearance of development and its surrounds will make a positive contribution to the immediate streetscape and the western township entry when viewed from the South Gippsland Highway.
- The need to provide an appropriate visual amenity and landscape interface with the Recreation Reserve.
- The need to provide for business display areas, in appropriate locations.
- The need to ensure the safety and efficiency of vehicle movements on the South Gippsland Highway.

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SCHEDULE 8 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

C121sgip 25/07/2019

Shown on the planning scheme map as **DDO8**.

EMERGENCY MEDICAL SERVICES HELICOPTER FLIGHTPATH AREA: LEONGATHA HOSPITAL (INNER AREA)

1.0

Design objectives

C121sgip 25/07/2019

To ensure that the height of all buildings and works are constrained within specified limits to avoid creating a hazard to aircraft in the vicinity of the helicopter landing site serving the Leongatha Memorial Hospital, and to facilitate safe Emergency Medical Service (EMS) helicopter operations.

To ensure that flight paths associated with the Leongatha Memorial Hospital EMS helicopter landing site are protected from the encroachment of inappropriate obstacles which may affect the safe and effective operation of the Leongatha Memorial Hospital EMS helicopter landing site.

2.0

Buildings and works

C121sgip 25/07/2019

A permit is not required to:

- Construct a building or construct or carry out works with a height less than 84.55 metres above the Australian Height Datum (AHD).
- Construct building additions and alterations exceeding 84.55 metres AHD, provided:
 - The additions and alterations do not exceed the existing height of the building (measured at the roofline apex) and;
 - The lot does not immediately adjoin the hospital land.

A permit is required to construct a fence with a height greater than 84.55 metres AHD. This does not apply to the construction of a fence in relation to the use of land for a dwelling provided:

- The fence height does not exceed the maximum height of the dwelling measured at the roofline apex and;
- The lot does not immediately adjoin the hospital land.

Notes:

1. The Leongatha Hospital helicopter landing site is at an elevation of 84.55 metres above the AHD.

2. For the purposes of this clause buildings and works include radio masts, television antenna and flagpoles and any construction equipment associated with the buildings and works.

Referral of applications

~~An application must be referred in accordance with Section 55 of the Act to the referral authority specified in Clause 66.04 or a schedule to that clause. [referral requirements cannot be specified in local schedules – this referral is listed in 66.04] Planning permit applications will be assessed against the Department of Health (Vic) guidelines for helicopter landing sites which incorporate the relevant requirements of the background document International Civil Aviation Organisation 'Standards and Recommended Practices' Annex 14 Volume II Helicopters (as amended). [Council advised deletion, not Background Documents]~~

Exemptions from notice and appeal

~~An application for construction of a building or to construct or carry out works is exempt from the notice requirements of Section 52(1) (a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act. [moved from application requirement] [to comply with MD format and precisely identify exemption]~~

3.0

Subdivision

C121sgip 25/07/2019

None specified.

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4.0 **Signs**

C121sgip 25/07/2019

None specified.

5.0 **Application requirements**

C121sgip 25/07/2019

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the Responsible Authority: A planning permit application must include the following information: [to comply with MD]

- The location of the land in relation to the helicopter landing site.
- The location and height of the main features on the land including trees or any other tall features.
- The proposed buildings and works on the land including details of the maximum height of the buildings and works measured from natural ground level.

Note: The Responsible Authority and the Department of Health (Vic) may request applications provide a maximum height (including the height of existing features) related to the Australian Height Datum (prepared by a suitably qualified person) if the proposal is deemed likely to impact safe helicopter operations.

~~Exemptions from notice and appeal~~

~~An application is exempt from the notice requirements of Section 52(1) (a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act. [moved to buildings and works] [to comply with MD]~~

6.0 **Decision guidelines**

C121sgip 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered as appropriate, by the Responsible Authority:

- ~~Before deciding on an application, the responsible authority must consider~~ whether the height and design of any proposed buildings and works will have an impact on the flights associated with the Leongatha Hospital EMS helicopter landing site. [to comply with MD]

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SCHEDULE 9 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DDO9**.

EMERGENCY MEDICAL SERVICES HELICOPTER FLIGHTPATH AREA: LEONGATHA HOSPITAL (OUTER AREA)

1.0 Design objectives

C121sgjp 25/07/2019

To ensure that the height of all buildings and works are constrained within specified limits to avoid creating a hazard to aircraft in the vicinity of the helicopter landing site serving the Leongatha Memorial Hospital, and to facilitate safe Emergency Medical Service (EMS) helicopter operations.

To ensure that flight paths associated with the Leongatha Memorial Hospital EMS helicopter landing site are protected from the encroachment of inappropriate obstacles which may affect the safe and effective operation of the Leongatha Memorial Hospital EMS helicopter landing site.

2.0 Buildings and works

C121sgjp 25/07/2019

A permit is not required to:

- Construct a building or to construct or carry out works provided the maximum height of the buildings or works does not exceed 12 metres above natural ground level.
- Construct a building or to construct or carry out works exceeding 12 metres above natural ground level provided no part of the buildings or works exceeds 96.55 metres above the Australian Height Datum (AHD). See Note 2

Notes:

1. The Leongatha Hospital helicopter landing site is at an elevation of 84.55 metres above the AHD.

2. 96.55 metres above the AHD (12 metres above the height of the Leongatha Hospital helicopter landing site) is the horizontal height plane across the DDO9 area above which buildings and works may impact helicopter operations.

3. For the purposes of this clause buildings and works include radio masts, television antenna and flagpoles and any construction equipment associated with the buildings and works.

Referral of applications

~~An application must be referred in accordance with Section 55 of the Act to the referral authority specified in Clause 66.04 or a schedule to that clause. [referral requirements cannot be specified in local schedules – this referral is listed in 66.04] Planning permit applications will be assessed against the Department of Health (Vic) guidelines for helicopter landing sites which incorporate the relevant requirements of the International Civil Aviation Organisation ‘Standards and Recommended Practices’ Annex 14 Volume II Helicopters (as amended). [Council advised deletion, not Background Documents]~~

Exemptions from notice and appeal

~~An application for construction of a building or to construct or carry out works is exempt from the notice requirements of Section 52(1) (a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act. [move from application requirements] [to comply with MD and clearly indicate scope of exemption]~~

3.0 Subdivision

C121sgjp 25/07/2019

None specified.

4.0 Signs

C121sgjp 25/07/2019

None specified.

5.0 Application requirements

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the Responsible Authority: A planning permit application must include the following information: [to comply with MD]

- The location of the land in relation to the helicopter landing site.
- The location and height of the main features on the land including trees or any other tall features.
- The proposed buildings and works on the land including details of the maximum height of the buildings and works measured from natural ground level.

Note: The Responsible Authority and the Department of Health (Vic) may request applications provide a maximum height (including the height of existing features) related to the Australian Height Datum (prepared by a suitably qualified person) if the proposal is deemed likely to impact safe helicopter operations.

~~Exemptions from notice and appeal~~

~~An application is exempt from the notice requirements of Section 52(1) (a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act. [move to buildings and works]~~

6.0 Decision guidelines

C121sgjp 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered as appropriate, by the Responsible Authority: [to comply with MD]

- ~~Before deciding on an application, the responsible authority must~~ consider whether the height and design of any proposed buildings and works will have an impact on the flights associated with the Leongatha Hospital EMS helicopter landing site.

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SCHEDULE 10 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

C121sgip 25/07/2019

Shown on the planning scheme map as **DDO10**.

EMERGENCY MEDICAL SERVICES HELICOPTER FLIGHTPATH AREA: FOSTER HOSPITAL (INNER AREA)

1.0 Design objectives

C121sgip 25/07/2019

To ensure that the height of all buildings and works are constrained within specified limits to avoid creating a hazard to aircraft in the vicinity of the helicopter landing site serving the Foster Hospital, and to facilitate safe Emergency Medical Service (EMS) helicopter operations.

To ensure that flight paths associated with the Foster Hospital EMS helicopter landing site are protected from the encroachment of inappropriate obstacles which may affect the safe and effective operation of the Foster Hospital EMS helicopter landing site.

2.0 Buildings and works

C121sgip 25/07/2019

A permit is not required to:

- Construct a building or construct or carry out works with a height less than 27.16 metres above the Australian Height Datum (AHD).
 - Construct building additions and alterations exceeding 27.16 metres AHD, provided:
 - The additions and alterations do not exceed the existing height of the building (measured at the roofline apex).

A permit is not required for a fence provided that:

- The fence is not within, around, or 10 metres outwards from the boundary of the sporting oval (football / cricket ground).

Notes:

1. The Foster Hospital Helipad is at an elevation of 27.16 metres above the AHD. This height represents the horizontal height plane across the DDO10 area at which buildings and works may impact helipad operations.

2. For the purposes of this clause buildings and works include radio masts, television antenna and flagpoles and any construction equipment associated with the buildings and works.

Referral of applications

~~An application must be referred in accordance with Section 55 of the Act to the referral authority specified in Clause 66.04 or a schedule to that clause. [referral requirements cannot be specified in local schedules – this referral is listed in 66.04] Planning permit applications will be assessed against the Department of Health (Vic) guidelines for helicopter landing sites which incorporates the relevant requirements of the International Civil Aviation Organisation ‘Standards and Recommended Practices’ Annex 14 Volume II Helicopters (as amended). [Council advised deletion, not Background Documents]~~

Exemptions from notice and appeal

An application for construction of a building or to construct or carry out works is exempt from the notice requirements of Section 52(1) (a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act. [move from application requirements] [to comply with MD and clearly specify scope of exemption]

3.0 Subdivision

C121sgip 25/07/2019

None specified.

4.0 Signs

C121sgip 25/07/2019

None specified.

5.0 Application requirements

C121sgip 25/07/2019

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the Responsible Authority: A planning permit application must include the following information: [to comply with MD]

- The location of the land in relation to the helicopter landing site.
- The location and height of the main features on the land including trees or any other tall features.
- The proposed buildings and works on the land including details of the maximum height of the buildings and works measured from natural ground level.

Note: The Responsible Authority and the Department of Health (Vic) may request applications provide a maximum height (including the height of existing features) related to the Australian Height Datum (prepared by a suitably qualified person) if the proposal is deemed likely to impact safe helicopter operations.

~~Exemptions from notice and appeal~~

~~An application is exempt from the notice requirements of Section 52(1) (a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act. [move to buildings and works]~~

6.0 Decision guidelines

C121sgip 25/07/2019

The following decision guideline applies to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered as appropriate, by the Responsible Authority:

- ~~Before deciding on an application, the responsible authority must consider~~ [to comply with MD] whether the height and design of any proposed buildings and works will have an impact on the flights associated with the Foster Hospital EMS helicopter landing site.

SCHEDULE 11 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as DDO11.

EMERGENCY MEDICAL SERVICES HELICOPTER FLIGHTPATH AREA: FOSTER HOSPITAL (OUTER AREA)**1.0 Design objectives**

C121sgjp 25/07/2019

To ensure that the height of all buildings and works are constrained within specified limits to avoid creating a hazard to aircraft in the vicinity of the helicopter landing site serving the Foster Hospital, and to facilitate safe Emergency Medical Service (EMS) helicopter operations.

To ensure that flight paths associated with the Foster Hospital EMS helicopter landing site are protected from the encroachment of inappropriate obstacles which may affect the safe and effective operation of the Foster Hospital EMS helicopter landing site.

2.0 Buildings and works

C121sgjp 25/07/2019

A permit is not required to:

- Construct a building or to construct or carry out works provided the maximum height of the buildings or works does not exceed 12 metres above natural ground level.
- Construct a building or to construct or carry out works exceeding 12 metres above natural ground level provided no part of the buildings or works exceeds 39.16 metres above the Australian Height Datum (AHD). See Note 2

Notes:

1. The Foster Hospital helicopter landing site is at an elevation of 27.16 metres above the AHD.

2. 39.16 metres above the AHD (12 metres above the height of the Foster Hospital helicopter landing site) is the horizontal height plane across the DDO11 area above which buildings and works may impact helicopter operations.

3. For the purposes of this clause buildings and works include radio masts, television antenna and flagpoles and any construction equipment associated with the buildings and works.

Referral of applications

~~An application must be referred in accordance with Section 55 of the Act to the referral authority specified in Clause 66.04 or a schedule to that clause. [referral requirements cannot be specified in local schedules – this referral is listed in 66.04]. Planning permit applications will be assessed against the Department of Health (Vic) guidelines for helicopter landing sites which incorporate the relevant requirements of the International Civil Aviation Organisation ‘Standards and Recommended Practices’ Annex 14 Volume II Helicopters (as amended). [Council advised deletion, not Background Documents]~~

Exemptions from notice and appeal

An application is exempt from the notice requirements of Section 52(1) (a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act. [move from application requirements] [to comply with MD and clearly specify scope of exemption]

3.0 Subdivision

C121sgjp 25/07/2019

None specified.

4.0 Signs

C121sgjp 25/07/2019

None specified.

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5.0 Application requirements

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the Responsible Authority: A planning permit application must include the following information: [to comply with MD]

- The location of the land in relation to the helicopter landing site.
- The location and height of the main features on the land including trees or any other tall features.
- The proposed buildings and works on the land including details of the maximum height of the buildings and works measured from natural ground level.

Note: The Responsible Authority and the Department of Health may request applications provide a maximum height (including the height of existing features) related to the Australian Height Datum (prepared by a suitably qualified person) if the proposal is deemed likely to impact safe helicopter operations.

Exemptions from notice and appeal

~~An application is exempt from the notice requirements of Section 52(1) (a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act. [move to buildings and works]~~

6.0 Decision guidelines

C121sgjp 25/07/2019

The following decision guideline applies to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered as appropriate, by the Responsible Authority:

- ~~Before deciding on an application, the responsible authority must consider [to comply with MD] whether~~ Whether the height and design of any proposed buildings and works will have an impact on the flights associated with the Foster Hospital EMS helicopter landing site.

SCHEDULE 12 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DDO12**.**NYORA TOWN CENTRE****1.0****Design objectives**

C121sgjp 25/07/2019

To ensure new development contributes to a compact town centre with a focus on Mitchell Street as the main street is consistent with the desired future character described in the Town Centre Character Statement at Clause 21.15. [reworded to remove the reliance on the cross referencing to the local policy so that the DDO can stand alone.]

To improve the pedestrian environment through human scale development, increased passive surveillance and improved pedestrian connections between public spaces and commercial and community buildings (existing and future).

2.0**Buildings and works**

C121sgjp 25/07/2019

A planning permit is not required to:

- Install an automatic teller machine.
- Alter an existing building façade provided:
 - The alteration does not include the installation of an external roller shutter.
 - At least 80 per cent of the building façade at ground floor level is maintained as an entry or window with clear glazing.
- Construct or carry out works for an awning that projects over a road reserve if it is authorised by the relevant public land manager.

A planning permit is required to construct or extend a front fence greater than 1.2 metres in height within 3 metres of a street.

A permit cannot be granted to vary design requirements for Weather protection and fence heights (refer to the Design requirements of this schedule).

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

- ~~An application must be accompanied by a landscape plan as appropriate. The plan must include a schedule showing the scientific and common name of the species and height and width at maturity. The species should be selected from the South Gippsland Shire's Urban Tree Management Guidelines for vegetation on public land. The species should be selected having regard to location, available space and surveillance/public safety. [move to 5.0] [these are application requirements]~~
- ~~An application must be accompanied by a report demonstrating how the application responds to the requirements of this Schedule and the Town Centre Character Statement at Clause 21.15.5. [move to 5.0] [these are application requirements]~~

Design requirements (detailed in Figures 1 and 2)**Weather protection and fence heights**

Continuous Weather Protection must be provided at Type A frontages along Mitchell Street, Davis Street and Grundy Avenue in the form of canopies, verandahs and awnings over the adjacent footpath.

Fences Heights must be less than 1.5 metres to provide for passive surveillance.

Front fences greater than 1.2 metres should be visually permeable (at least 20 per cent) so that front setback areas are visible from the footpath (e.g. picket fence).

Street activation

Buildings on land abutting Mitchell Street, Davis Street, Hewson Street, Henley Street and Grundy Avenue must be designed with a primary façade and entrance fronting the street. In the case where a

building fronts more than one street, the primary façade and entrance should front the street with the greatest commercial activity (e.g. Mitchell Street, Davis Street).

Buildings abutting pedestrian spaces and connections should include entrances and windows in order to encourage activity and provide passive surveillance.

Building elevations, especially ground level façades, on Mitchell Street, Davis Street, Hewson Street and Grundy Avenue should present active frontages (*built form which provides the opportunity for visual engagement between people in the street and those on the ground and first floors of buildings e.g. windows, upper level balconies*) to the street with high proportions of transparent glazing above 1m from ground level.

Height and setbacks

Building façades should not exceed 7.5 metres in height above natural ground level.

Portions of buildings in excess of 7.5 metres in height should be setback behind the front façade so that they appear recessive and maintain a human scale when viewed from the adjacent footpath.

New buildings should have front setbacks as follows:

- zero metres for Type A frontages along Mitchell Street, Davis Street, Henley Street and Grundy Avenue;
- four metres for Type B frontages along Hewson Street and Henley Street.

Front setback areas may provide for outdoor dining or temporary retail displays.

Vehicle parking must not be provided between the building façade and the front boundary.

Design and materials

Plant, equipment, waste disposal, and loading bays must be completely screened from Mitchell Street, Davis Street, Hewson Street, Henley Street and Grundy Avenue and softened by landscaping when viewed from other streets.

Large expanses of blank walls should be avoided where visible from the street.

Any development with a large floor area (e.g. supermarket) should be designed to provide an active frontage to the adjoining street and support pedestrian connectivity within the precinct, particularly to Mitchell Street.

The materials used in the design of development, including buildings and fencing, should reference country styles (e.g. through the use of timber, masonry and corrugated iron).

A public pedestrian thoroughfare should be created between Mitchell Street and the rear lane as part of subdivision or development in the area.

Vehicular access and loading within the block bounded by Mitchell, Davis, Hewson and Henley Streets must be provided from the rear or side of the lot.

No new vehicle crossings should be created on Mitchell Street.

Existing vehicle crossings on Mitchell Street should be removed as part of new development where the opportunity exists to provide an alternative access from the rear or side of the property.

Car parks should be designed to facilitate integration with existing and future buildings and provide ease of movement by vehicles and pedestrians.

Landscaping

Where provided, front setback areas must be landscaped.

Buildings should be designed to retain healthy large canopy trees that contribute to the streetscape or will enhance proposed landscape areas.

Where practical, provision should be made for the planting of canopy trees with designated root protection zones.

All new car parks with 10 or more spaces should include areas for landscaping that are designed to provide shade, break up expanses of hard surfaces, and improve the quality of stormwater.

3.0

Subdivision

C121sgjp 25/07/2019

None specified.

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4.0 **Signs**

C121sgip 25/07/2019

Sign requirements are at Clause 52.05. In addition to the requirements of the zone, a permit is required to display an Internally-illuminated sign.

5.0 **Application requirements**

C121sgip 25/07/2019

~~Where no requirements are specified insert "None specified."~~[delete guidance text from MD]

~~or~~

~~Where application requirements are specified insert "[delete guidance text from MD]~~

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- ~~[insert application requirements]."~~ [delete guidance text from MD]
- An application must be accompanied by a landscape plan as appropriate. The plan must include a schedule showing the scientific and common name of the species and height and width at maturity. The species should be selected from the South Gippsland Shire's Urban Tree Management Guidelines for vegetation on public land. The species should be selected having regard to location, available space and surveillance/public safety. [move from 2.0 buildings and works] [these are application requirements]
- An application must be accompanied by a report demonstrating how the application responds to the requirements of this Schedule [move from 2.0 buildings and works] [these are application requirements] and the Town Centre Character Statement at Clause 21.15.5. [duplication of other scheme provision / requirement, refers to out-of-date provision]

6.0 **Decision guidelines**

C125sgip 08/09/2022

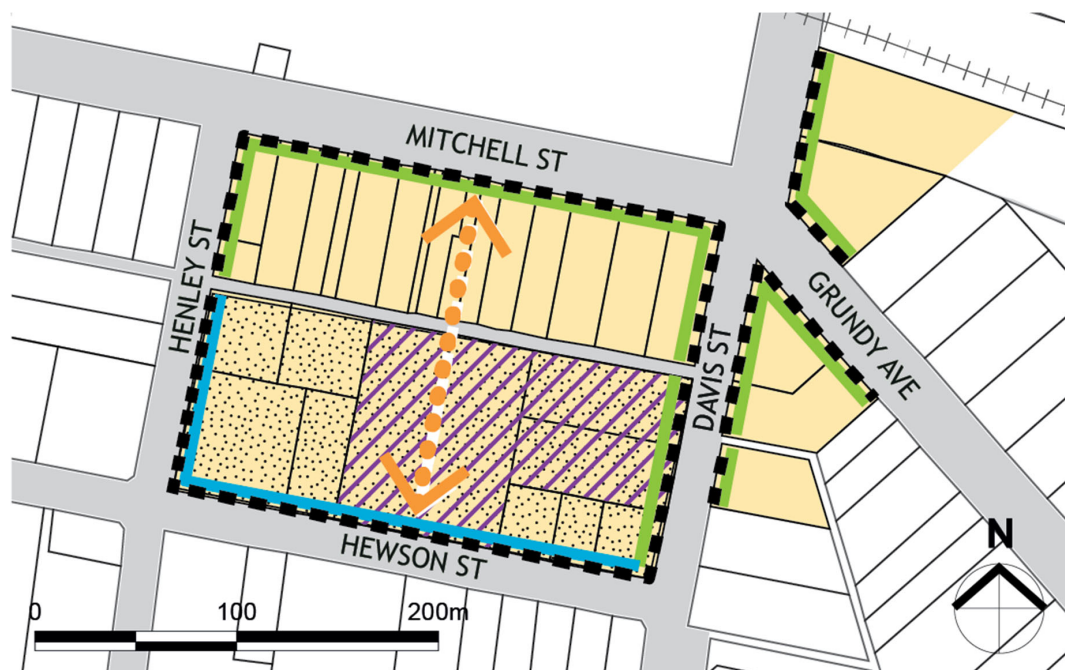
None specified.

~~The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:~~

- ~~The Design requirements of this Schedule.~~ [This is a requirement of the parent provision]
- ~~The requirements of the Character Statement at Clause 21.15.5.~~ [duplication of other provisions, contrary to PG]

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Figure 1 Illustration of DDO Requirements

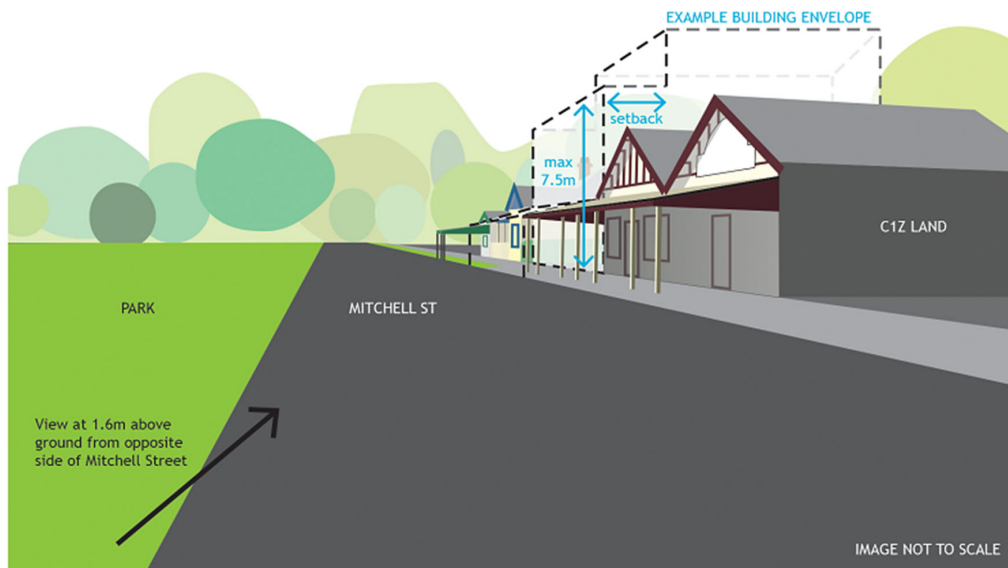


LEGEND

- Properties in DDO
- Active Frontages
 - Primary Facades & Entrances fronting the Adjacent Street
 - Screening of Plant, Equipment, Waste Disposal & Loading Bays from Adjacent Street
- Future Pedestrian Connection (approximate location)
- Existing Pedestrian Connections
- Preferred Location for Supermarket Development & Associated Parking
(refer to Town Centre Master Plan in Nyora Development Strategy)
- Further Subdivision to be Avoided
- Type A Frontage**
Build to Boundary (0m Setback)
Provide Weather Protection
- Type B Frontage**
Landscaped Setback (4m Setback)

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Figure 2 Illustration of Building Façade Controls



SCHEDULE 13 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

C115sgjp 13/08/2020

Shown on the planning scheme map as **DDO13**.**MIRBOO NORTH TOWN CENTRE****1.0****Design objectives**

C115sgjp 13/08/2020

~~To ensure new development is consistent with the desired future character described in the Mirboo North desired future Character Statement at Clause 21.14. [duplication of other provisions, contrary to PG]~~

To provide a high level of pedestrian activity, amenity, comfort and safety in the town centre.

To improve the pedestrian environment through human scale development, increased passive surveillance and improved visual and physical pedestrian connections between public spaces and buildings (existing and future).

To encourage compact built form and high quality urban design within the town centre.

To enhance the low scale heritage character of the town centre.

2.0**Buildings and works**

C115sgjp 13/08/2020

A permit is not required to:

- Install service fixtures to existing buildings.
- Install an automatic teller machine.
- Alter an existing building façade provided:
 - The alteration does not include the installation of an external roller shutter.
 - At least 80 percent of the building façade at ground floor level is maintained as an entry or window with clear glazing.
- Construct an awning that projects over a road if it is authorised by the relevant road authority.

A permit is required to construct or extend a front fence which is within three metres of a street.

Design requirements

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

Frontages and setbacks

- Development should generally have a zero setback to the front title and/or side boundary where the lot abuts Ridgway, except where this would adversely affect the heritage significance of a heritage building.
- Development should create a continuous building frontage along Ridgway, Peters Street, Brennan Street and Grand Ridge East unless providing pedestrian access, or where this would adversely affect the heritage significance of a heritage building.
- Building frontages should contribute to the retail function of the area.
- Greater setbacks should be provided along Ridgway to provide for al fresco dining opportunities.

Street activation

- Development should provide visually engaging frontages with clear glazed windows and entrances as the predominant elements of the ground floor façade.
- Any development with a large floor area (e.g. supermarket) should be designed to provide an active frontage to the adjoining streets and support pedestrian connectivity within the precinct.
- Where development fronts Ridgway and the building is used for:
 - a shop or food and drink premises, at least 80 per cent of the width of the street frontage of each individual premises should consist of display window and/or an entrance.

- any other commercial use, at least 60 per cent of the width of the street frontage of each individual premises should consist of display window and/or an entrance.
- Avoid long blank walls at street level as they reduce active street edges and passive surveillance.
- Where blank walls cannot be avoided, incorporate art forms and/or outdoor kerb side dining to activate the space.
- Front fencing should be discouraged. Where it is provided, it should be low (no more than 1.2 metres in height) and visually transparent.
- Any security grilles should be mounted internally. Where this is not possible or practical, security grilles should be visually transparent.
- Development fronting Ridgway and Peters Street must provide continuous weather protection along commercial building frontages and walkways and extend the full pavement width, except where this would adversely affect the heritage significance of a heritage building.
- All other road frontages should provide continuous weather protection along commercial building frontages and walkways and extend the full pavement width, except where this would adversely affect the heritage significance of a heritage building.

Vehicle access and services

- Plant, equipment, waste disposal and loading bays must be completely screened from Ridgway, Peters Street, Brennan Street and Grand Ridge East and softened by landscaping when viewed from other streets.
- Vehicle access and loading facilities should not be located along Ridgway. Where possible, vehicle access and loading facilities should be located along Burchell Lane.

Safety

- Lighting should be provided to ground floor frontages to promote a sense of security at night.
- Recesses to ground floor street frontages should be less than 300mm deep to omit potential hiding places that undermine the safety of the street.

Residential development

- The main pedestrian entry to a dwelling should face a street.
- Access to dwellings should be provided with lighting and weather protection.
- Above ground floor living areas and balconies should face the street or adjacent public spaces.

3.0**Subdivision**

C115sgjp 13/08/2020

None specified.

4.0**Signs**

C115sgjp 13/08/2020

Sign requirements are at Clause 52.05. All land located within Mirboo North town centre is in Category 3.

5.0**Application requirements**

C115sgjp 13/08/2020

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A detailed report that shows how the design objectives and requirements of this overlay are met.
- A detailed site plan that shows building setbacks, the location and width of vehicle crossovers, outdoor building display areas and signs.
- Building elevation plans that clearly describe the external building materials and finishes and proposed signs.
- A landscape plan that shows:
 - The location, species and height of all existing vegetation to be retained and/or removed; and

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- A detailed planting schedule that makes reference to the background document *CFA Landscaping for Bushfire November 2011* and uses species selected from Indigenous Plants of South Gippsland Shire (2004), with emphasis on plants from the relevant Ecological Vegetation Class for the planting area.

6.0

Decision guidelines

C115sgip 13/08/2020

None specified.

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the Responsible Authority:

- *—Whether the proposal is consistent with the desired future character described in the Town Centre Character Statement at Clause 21.14. [duplication of other provisions, contrary to PG]
- Whether the proposal is consistent with the design requirements of this Schedule. [This is already required by the parent provision.]

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SCHEDULE 1 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

[C121sgjp](#) 25/07/2019

Shown on the planning scheme map as **DPO1**.

KORUMBURRA ENTRANCE NODE

1.0 Objectives

[C121sgjp](#) 25/07/2019

None specified.

2.0 Requirement before a permit is granted

[C121sgjp](#) 25/07/2019

None specified.

3.0 Conditions and requirements for permits

[C121sgjp](#) 25/07/2019

None specified.

4.0 Requirements for development plan

[C121sgjp](#) 25/07/2019

A development plan must include the following requirements:

- Landscaping plans along the western and northern boundaries of the land showing substantial screening measures to ensure views from the South Gippsland Highway, (especially views from the western approach to Korumburra) to industrial development on the subject site are retained as predominantly rural.
- Measures proposed to protect and prevent potential adverse impacts on the creek located on the subject land, having regard to potential land uses permitted in the Industrial 1 Zone.
- A notation specifying that all buildings and works on site must be:
 - Carried out in accordance with relevant EPA guidelines for sediment pollution control.
 - Constructed using materials of muted and non-reflective tones.
- The proposed road network to service any future subdivision of the land integrated with:
 - Existing road network;
 - Surrounding land uses;
 - Proposed landscaping; and
 - Creek protection measures.

SCHEDULE 2 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as DPO2.

WARATAH BAY**1.0 Objectives**

C121sgjp 25/07/2019

None specified.

2.0 Requirement before a permit is granted

C121sgjp 25/07/2019

A permit may be granted for the development of a single dwelling and associated outbuildings on the land affected by this Overlay before a development plan has been prepared, provided it is the only dwelling on the land and provided it complies with the requirements set out in clause 3.0 for dwellings.

3.0 Conditions and requirements for permits

C121sgjp 25/07/2019

The following conditions and/or requirements apply to permits:

- Only one dwelling shall be constructed on any lot.
- The maximum site coverage of all buildings on a lot must not exceed 70% of the area of the lot.
- No dwelling shall be constructed on any lot shown on the development plan prior to the provision of reticulated sewerage to the land.
- The upper level of any two storey dwelling must be recessed to a maximum of 70% of the ground floor area.
- Buildings and all associated facilities such as heating units, air-conditioning units, solar panels and satellite dishes must have a maximum height of 8.0 metres above natural ground level. All such associated facilities must be located at the rear of dwellings.
- All buildings must be finished in muted non-reflective tones to the satisfaction of the Responsible Authority.

4.0 Requirements for development plan

C121sgjp 25/07/2019

A development plan must include the following requirements:

- The subdivision layout of the land prepared by a qualified surveyor.
- The creation of no more than six (6) new lots wholly within the Township Zone.
- A minimum lot size of 600 square metres.

SCHEDULE 3 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as DPO3.

MURRAY GOULBURN LEONGATHA FACTORY**1.0 Objectives**

C121sgjp 25/07/2019

None specified.

2.0 Requirement before a permit is granted

C121sgjp 25/07/2019

A permit may be granted before a development plan has been prepared to the satisfaction of the responsible authority.

3.0 Conditions and requirements for permits

C121sgip 25/07/2019

None specified.

4.0 Requirements for development plan

C121sgip 25/07/2019

Purpose

The purpose of the Development Plan is to provide a framework for approval of future development involving staged implementation over approximately a 10 year period (ie 2016) under the Murray Goulburn Co-Operative Co. Masterplan.

The Development Plan will address relevant planning and environmental issues to the satisfaction of the South Gippsland Shire Council, relevant agencies, and the local community.

Requirements

~~The A Development development Plan-plan~~ must include the following requirements, the the form of show the following detailed plans and supporting information: [to comply with MD]

- A detailed description of the existing site and proposed extended site area including existing topography, vegetation, drainage lines, buildings and works.
- The proposed development including details of:
 - vegetation to be retained or removed, and new landscape planting proposals
 - re-alignment of drainage lines within the site
 - major site infrastructure proposals, including drainage works
 - vehicle access and any improvements to the external roads proposed
 - vehicle manoeuvring and access ways within the site
 - car parking and truck parking areas
 - proposed buildings and works within each development stage showing existing buildings to be retained or removed, and new buildings and processes involved
 - the use of buildings and works and other parts of the site
 - materials and finishes for new buildings and works.

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SCHEDULE 4 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DPO4**.

LOW DENSITY RESIDENTIAL ZONE DEVELOPMENT PLAN – SIMONS LANE

1.0 Objectives

C121sgjp 25/07/2019

None specified.

2.0 Requirement before a permit is granted

C121sgjp 25/07/2019

None specified.

3.0 Conditions and requirements for permits

C121sgjp 25/07/2019

The following conditions and/or requirements apply to permits:

- All residential development should be serviced with reticulated water and sewerage.
- If sewerage infrastructure cannot be provided, a Land Capability Assessment report must be submitted demonstrating:
 - Compliance with State and local policies on effluent and stormwater disposal.
 - That soil type and environmental conditions can treat the number of proposed effluent disposal systems from the site.
- A permit for residential subdivision must include the following conditions
 - The sealing of the unsealed road surface of Simons Lane between Ditchley Court and the immediate western side of the Rail Trail crossing to the satisfaction of the responsible authority.
 - The provision of a nominally 2.5m wide crushed rock footpath with associated infrastructure along the northern side of Simons Lane between the Rail Trail and the South Gippsland Highway to the satisfaction of the responsible authority.
 - A section 173 Agreement to be registered on each title to be created which identifies a building envelope and stormwater retention areas and measures.
- A planning permit for residential subdivision must consider the requirements and conditions of the Roads Corporation (VicRoads).
- A planning permit for residential subdivision must consider the requirements and conditions of the Country Fire Authority.

4.0 Requirements for development plan

C121sgjp 25/07/2019

A development plan must include the following requirements: ~~The development plan should:~~ [to comply with MD]

- Provide a subdivision layout plan that allows for the creation of two road access points onto Simons Lane to service the future residential development of the land to the north of the Low Density Residential Zone avoiding, where possible, creation of cross type intersections with existing roads south of Simons Lane.
 - The western road access point should be located more than 150m west of the intersection of Ditchley Court.
 - The eastern access point should be located at least 80m east of the ridge line (road crest) east of Ditchley Court
- Describe the relationship of developments proposed on the land to existing and proposed developments on adjoining land.

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- Identify any sites of conservation, heritage or archaeological significance and the means by which they will be managed.
- Provide appropriate arrangements for the provision of necessary physical infrastructure.
- Provide a Stormwater Management Plan detailing how stormwater will be managed within each lot to be created and between the subject land and declared waterways, including off site physical infrastructure where required.
- Identify the staging (if proposed) and anticipated timing of development.
- Provide a subdivision layout that does not compromise the future provision of a shared pedestrian [and](#) cycle path on the northern side of Simons Lane in front of the land to be subdivided.

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SCHEDULE 5 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DPO5**.

NYORA RESIDENTIAL DEVELOPMENT TRANSITION AREA

1.0 Objectives

C121sgjp 25/07/2019

None specified.

2.0 Requirement before a permit is granted

C121sgjp 25/07/2019

A permit may be granted before a development plan is approved for any use or development permissible in a residential zone, excluding:

- The subdivision of land, except where the subdivision is undertaken by the Crown, a public authority, infrastructure utility service provider or Council.
- The development of a lot for a second or subsequent dwelling(s).

A permit must not be issued for the residential subdivision of land until the land can be serviced by reticulated sewerage.

3.0 Conditions and requirements for permits

C121sgjp 25/07/2019

The following conditions and requirements apply to permits: [to comply with MD]

- An application for a planning permit must be accompanied by a town planning report prepared by a suitably qualified person, outlining how the permit application responds to the Municipal Planning Strategy and Planning Policy Framework of the South Gippsland Planning Scheme, Clause 56 of the Particular Provisions (Residential subdivision) and the provisions and requirements of the approved development plan. An engineering report is required to demonstrate compliance with Council's Infrastructure Design Manual.
- ~~A planning permit must be generally in accordance with the approved development plan.~~ [This is a requirement in the parent provision]
- A planning permit must include any conditions or requirements needed to give effect to the contents of the approved development plan.

4.0 Requirements for development plan

C121sgjp 25/07/2019

Any development plan prepared under the provisions of this overlay must be prepared to the satisfaction of the Responsible Authority.

Any approved development plan may be amended to the satisfaction of the responsible authority.

A development plan must include the following requirements:~~The development plan must show/provide the following detailed plans and supporting information to the satisfaction of the Responsible Authority.~~ [to comply with MD]

Site Analysis and Design Response

- A site analysis and design response for the subject land (including details of the adjoining land, including land outside of the development plan area) displaying the existing lot configuration, the location and use of buildings on each lot, vegetation, drainage waterways and related infrastructure, environmental features, roads, paths and other public infrastructure.

Road and Pedestrian Network

- A subdivision layout pattern that provides a safe and efficient road network appropriately integrated with the existing road network. The layout should provide for the creation of an east/west road connection between Walters Road, Henley Street and Davis Street. Road access must be provided west from Walters Road into the Future Residential Area identified in the Nyora Framework Plan.

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- A safe and convenient pedestrian and cycling network along main internal and external roads that creates appropriate links with the surrounding residential areas and open space. Continuous pathway connectivity must be provided between Grundy Avenue and the Future Residential Area west of Walters Roads.

The road and pedestrian network plan must be supported by a Traffic Impact Assessment and Management Plan prepared by a suitably qualified person. The Plan must respond to Council's Infrastructure Design Manual and provide detailed costings for all infrastructure to be provided on public land.

Stormwater ~~and Drainage~~ drainage

- A stormwater and drainage management plan prepared by a suitably qualified person that demonstrates/provides:
 - Integrated stormwater management planning across the subject land, including consideration of impacts outside of the subject area likely to occur as a result of development. For land adjoining or creating connections to Walters Road and Henley Street, the Plan must specifically address improvements to stormwater management in the Walters Road and Henley Street road reserves.
 - Water Sensitive Urban Design principles (in accordance with Melbourne Water requirements) where appropriate.
 - A response that meets or exceeds the requirements of the State Environment Protection Policy (Waters of Victoria) objectives for environmental management of stormwater as set out in the background document Urban Stormwater Best Practice Environmental Management Guidelines (CSIRO, 1999) as amended.
 - Identification of waterlogged areas not suited to development.
 - A response to the infrastructure and payment levy requirements of Melbourne Water.
 - A response to Council's Infrastructure Design Manual and detailed costings for all works to occur on public land.

Off-site Infrastructure Provision ~~and~~ Developer Contribution

Significant development and community public infrastructure upgrades are required to support new development in Nyora. In consultation with the Responsible Authority the development plan must include a clear commitment by the landowner / developer to provide contributions to improving development and community infrastructure on public land in Nyora. The development plan must include a report specifying details and costings for the provision of off-site infrastructure resulting from the subdivision of the land. The report will form the basis for a section 173 Agreement, or other development contributions mechanism, to be executed before a permit is issued for the subdivision of land.

Environment

- A flora and fauna report prepared by a suitably qualified person that:
 - Identifies vegetation on the land, its health and significance to the locality, measures required to protect vegetation and the identification of any vegetation to be removed.
 - Provides a landscape plan for new subdivisions.
 - Identifies the location / habitat of the Giant Gippsland Earthworm and any other significant species in the locality, including details of measures to protect significant fauna.
 - Appropriate development separation to declared waterways and natural drainage lines.

Urban Design

- A subdivision layout and design that seeks to protect the small rural township character of Nyora by incorporating design measures including, but not limited to:
 - The creation of larger lots on land fronting main roads and connector roads. The lots should allow for generous development setbacks and side boundary separation between adjoining dwellings.
 - Active frontage to main roads and connector roads and the avoidance of internally-facing subdivisions resulting in rear fence lines adjoining roads.

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- The creation of areas within road reserves and public spaces that allow for the planting of canopy trees.

General

- The provision of open space.
- Staging of subdivision – if intended.
- Identification of infrastructure servicing constraints and opportunities.

Staging of the Development Plan

The development plan may be approved in stages. Each development plan stage must represent a logical land unit bounded by roads or the ~~boundaries~~[boundaries](#) of the Development Plan Overlay map area. For example, the area east of Davis Street, or the area between Henley Street and Walters Road may be approved as separate development plan stages. Smaller stages within these areas may be approved if the Responsible Authority is satisfied that integrated and orderly planning can be achieved, addressing all of the matters set out in this development plan schedule.

SCHEDULE 6 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DPO6**.**KORUMBURRA RESIDENTIAL GROWTH AREAS****1.0 Objectives**

C121sgjp 25/07/2019

None specified.

2.0 Requirement before a permit is granted

C121sgjp 25/07/2019

A permit may be granted before a development plan has been prepared to the satisfaction of the Responsible Authority for the following:

- A minor extension, minor addition or minor modification to an existing development that does not prejudice the future orderly development of the general area affected by the Development Plan Overlay to the satisfaction of the Responsible Authority.
- The use and development of land for agriculture provided it is minor in nature and does not prejudice the future residential use and development of the land, or the residential amenity of surrounding areas.
- The use, development & subdivision of land by a public authority or utility provider.

3.0 Conditions and requirements for permits

C121sgjp 25/07/2019

The following conditions and/or requirements apply to permits: [to comply with MD]

General

Before deciding on an application to subdivide land, construct buildings, or carry out works, the Responsible Authority must consider, as appropriate:

- Whether the development of the land is occurring in an efficient and orderly manner having regard to essential services, community facilities, open space and roads.
- The potential for future re-subdivision.
- The interface between proposed and existing nearby developments, to reduce the chance of conflicting developments, especially in relation to the industrial zoned land north of Bena Road.
- The need to minimise access points to Jumbunna Road.
- The design of any proposed buildings to enhance and reinforce the character of the area.
- The timing and staging of the development of the land.
- The consistency of the proposed development with the approved development plan.
- The consistency of the proposed development with the adopted Korumburra Structure Plan, where relevant.
- Any other matter, as deemed appropriate by the Responsible Authority, which the development plan should take account of based on the specific character of the land.
- The requirement for building envelopes, agreements or covenants to be registered on newly created titles to achieve the lot development restrictions set out in the development plan.
- An assessment against the requirements of Clause 56 of the South Gippsland Planning Scheme.

Development and community infrastructure

Prior to the issuing of a Statement of Compliance (or otherwise agreed to in writing by the Responsible Authority), the landowners may enter into an agreement with the Responsible Authority pursuant to section 173 of the Planning and Environment Act 1987 or other mechanisms approved by Council. Any such agreement should make provision for contributions to be made by the owners towards the provision of development and community infrastructure on public land (including the provision of land and/or the payment of financial levies) required as a consequence of the subdivision of the land.

Fencing Requirement

Fencing on sensitive interfaces (existing residential zoned land bordering DPO6) is to be a minimum 1.8m high solid fence to be provided at the developer's expense prior to the issue of Statement of Compliance on the subdivision of the land. The location and type of fencing may be varied subject to the approval of the Responsible Authority.

4.0**Requirements for development plan**

C121sgip 25/07/2019

A development plan must include the following requirements:

- The development plan must be prepared to the satisfaction of the Responsible Authority.
- The development plan may be approved in stages. Each development plan stage must represent a logical land development unit bounded by roads, natural features or the boundaries of the Development Plan Overlay map area.

The development plan must show ~~or~~ provide:

Land use and subdivision layout

- The proposed boundaries of the development area, and provide the strategic justification for those boundaries.
- The overall subdivision of the area, including where possible, the proposed size and density of allotments which provide opportunities for a diverse range of housing types.
- The provision of a sensitive residential interface with adjoining residential land. Lots directly adjoining the Low Density Residential Zone (LDRZ) must include a rear setback of a minimum of 7 metres from the zone boundary to any new structure, with a minimum of a 3 metre wide landscape buffer along the zone boundary, or alternative, determined to the satisfaction of the Responsible Authority.
- Street network that:
 - Limits the creation of new road access points onto Jumbunna Road and support building frontages with two way surveillance.
 - The overall pattern of development of the area, including any proposed re-zoning of land and proposed land uses.
- A staging plan that demonstrates an efficient and orderly provision of infrastructure and services
- An accessible and integrated network of walking and cycling routes for safe and convenient travel to adjoining communities (including existing and future areas included in the DPO), local destinations or points of local interest, activity centres, community hubs, open spaces and public transport.
- The provision of any commercial facilities and the extent to which these can be co-located with community and public transport facilities to provide centres with a mix of land uses and develop vibrant, active, clustered and more walkable neighbourhood destinations.

Industrial Zone interface

For subdivision and development north of Foster Creek an interface management plan is to be provided which specifies a design response and specific building and lot controls including, where required, controls to address amenity concerns related to noise, odour, vibration and lighting arising from legally occurring industrial activities within the Industrial 1 and Industrial 3 Zones. This may be executed via a Section 173 Agreement.

Earthworks and Land Form

- Where steeply sloping land exists on the site, the development plan shall detail how the proposed design responds to the topography and contours of the land, and whether significant earthworks are likely to be required for subdivisions to ensure good development design outcomes are achieved. Where land exceeds a slope of 20% a geotechnical report must be prepared by an appropriately qualified person demonstrating the suitability of the land for development.

The report must provide sufficient detail to ensure environmental, access and amenity issues are appropriately addressed. The report should detail whether building envelopes or other controls are likely to be required at the subdivision stage.

Infrastructure Services

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- An integrated stormwater and flood management plan that incorporates water sensitive urban design techniques which provides for the protection of natural systems, integration of stormwater treatment into the landscape, improved water quality, and reduction and mitigation of run-off and peak flows, including consideration of downstream impacts.
- A comprehensive Traffic Impact Assessment prepared to the satisfaction of the Responsible Authority in consultation with the Roads Corporation that identifies existing and post development traffic generation, distribution and associated analysis and the pattern and location of the major arterial road network of the area including existing roads and the location and details of any required:
 - road widening
 - signalised [and](#) /unsignalised intersections
 - access points
 - pedestrian crossings or safe refuges
 - cycle lanes
 - bus lanes and stops
- The pattern and location of any internal road system based on a safe and practical hierarchy of roads including safe pedestrian and bicycle connections and crossing points in accordance with background documents *South Gippsland Paths and Trails Strategy 2010 (as amended)* and *South Gippsland Open Space Strategy 2007 (as amended)*. The internal road network must specifically provide for the potential for internal road connectivity to the existing dwelling lots that have potential for further subdivision.
- In consultation with relevant agencies and authorities, provision of public transport stops where appropriate within easy walking distance to residential dwellings and key destinations. Stops should also be located near active areas where possible.
- Identification of costs for infrastructure provision both onsite and offsite

Open Space and Landscaping

- The location and size of the proposed open spaces that cater for a range of user groups and provide a variety of functions that perform both an active and passive role for recreation, as appropriate.
- Public open spaces designed to provide:
 - The inclusion of pedestrian and cycle paths and play equipment, that encourage active recreational opportunities.
 - Opportunities for visual surveillance to promote safety of users, through encouraging active frontages, using buildings to frame public spaces and locating open spaces within or adjacent to activity centres where possible.
- A landscaping plan, prepared by a suitably qualified person, identifying all proposed landscaping with particular regard to the interface with surrounding residential and industrial developments, open space and roads. The landscape plan must include canopy tree plantings within both the internal and external road network to soften the visual impact of new development when viewed from within and outside the development area. The landscape plan must provide a high level of detail where new development is adjoining Jumbunna Road, Bena Road and new Connector Street – Level 1 roads, especially in areas where new development is inward facing and not addressing the road.

Community Infrastructure and Meeting Places

- Provision for access and social interaction, particularly where this encourages physical activity. For example:
 - Consider the need for public amenities, including toilets and bicycle parking at key destinations in accordance with the background document *Path and Trails Strategy 2010 (as amended)*.
 - The pattern and location of pedestrian and bicycle paths should provide safe and practical access to and from community facilities and meeting places.
 - Spaces should be designed to accommodate community events.

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- Consider the need for onsite community facilities or where required, upgrades and contribution to offsite community infrastructure.

Flora and Fauna

- In consultation with the Department of Sustainability and Environment, a flora and fauna survey, prepared by a suitably qualified expert, which includes but is not limited to species surveys for Gippsland Giant Earthworm, and measures required to protect the identified species.
- An assessment of any native vegetation to be removed having regard to Victoria's Native Vegetation Management: A Framework for Action, including how it is proposed to protect and manage any appropriate native vegetation, including the provision of any offsets if required.
- Regard must be had to the background document *West Gippsland Native Vegetation Plan 2003*. (as amended).

Cultural Heritage

- A cultural heritage assessment including how cultural heritage values will be managed.

Land Contamination

An investigation by an appropriately qualified person of the potential location and forms of land contamination resulting from previous land uses, as well as measures to address contamination in areas where sensitive land uses are proposed. The investigation must consider, but not be limited to, agricultural chemical use, informal land dumping, industrial & mining activities.

Process and Outcomes

The development plan should be prepared with an appropriate level of community participation as determined by the Responsible Authority.

An implementation plan must be submitted as part of the development plan, indicating the proposed staging of the development and timing of infrastructure provision.

The approved development plan may be amended to the satisfaction of the Responsible Authority.

Decision guidelines for development plan

Before deciding on a development plan, the Responsible Authority must be satisfied that the plan has regard to the information contained within the following background documents:

- *Victoria's Native Vegetation Management: A Framework for Action 2002*
- *Healthy by Design: a planners' guide to environments for active living®*, (National Heart Foundation of Australia - (Victorian Division, 2004) or as amended;
- *South Gippsland Path and Trails Strategy 2010* (as amended).
- *South Gippsland Open Space Strategy 2007* (as amended).
- *Korumburra Structure Plan 2010* (as amended)

SCHEDULE 7 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DPO7**.**JUMBUNNA ROAD RESIDENTIAL AREA****1.0 Objectives**

C121sgjp 25/07/2019

None specified.

2.0 Requirement before a permit is granted

C121sgjp 25/07/2019

A permit may be granted before a development plan has been prepared to the satisfaction of the Responsible Authority for the following:

- A minor extension, minor addition or minor modification to an existing development that does not prejudice the future orderly development of the general area affected by the Development Plan Overlay to the satisfaction of the Responsible Authority.
- Buildings and works associated with the Jumbunna Road bus depot provided the buildings and works are contained within the established development footprint or immediate surrounds to the satisfaction of the Responsible Authority
- The use and development of land for agriculture provided it is minor in nature and does not prejudice the future residential use and development of the land, or the residential amenity of surrounding areas.
- The use, development & subdivision of land by a public authority or utility provider.

3.0 Conditions and requirements for permits

C121sgjp 25/07/2019

The following conditions and requirements apply to permits: [to comply with MD]

General

Before deciding on an application to subdivide land, construct buildings, or carry out works, the Responsible Authority must consider, as appropriate:

- Whether the development of the land is occurring in an efficient and orderly manner having regard to essential services, community facilities, open space and roads.
- The potential for future re-subdivision.
- The interface between proposed and existing nearby developments, to reduce the chance of conflicting developments, including in relation to the Bus Depot site.
- The need to minimise access points to Jumbunna Road.
- The design of any proposed buildings to enhance and reinforce the character of the area.
- The timing and staging of the development of the land.
- The consistency of the proposed development with the approved development plan.
- The consistency of the proposed development with the adopted Korumburra Structure Plan, where relevant.

Any other matter, as deemed appropriate by the Responsible Authority, which the development plan should take account of based on the specific character of the land.

The requirement for building envelopes, agreements or covenants to be registered on newly created titles to achieve the lot development restrictions set out in the development plan.

- An assessment against the requirements of Clause 56 of the South Gippsland Planning Scheme.

Development and community infrastructure

Prior to the issuing of a Statement of Compliance (or otherwise agreed to in writing by the Responsible Authority), the landowners may enter into an agreement with the Responsible Authority pursuant to section 173 of the Planning and Environment Act 1987 or other mechanisms approved by Council. Any

such agreement should make provision for contributions to be made by the owners towards the provision of development and community infrastructure on public land (including the provision of land and/or the payment of financial levies) required as a consequence of the subdivision of the land.

Bus Depot development requirements

Any planning permit which creates residential lots or approves a sensitive use in the DPO7 area within 50 metres of the Jumbunna Road bus depot site may include a condition to restrict (through an appropriate restriction on title) the use of these lots for dwellings or other sensitive uses until such time as the bus depot is no longer in operation and its existing use rights are expired.

The following requirement applies to the use or development of the Jumbunna Road bus depot site:

Before a sensitive use (e.g. residential use, child care centre, pre-school centre or primary school) commences or before the construction or carrying out of buildings and works in association with a sensitive use commences, either:

- A certificate of environmental audit must be issued for the land in accordance with Part IXD of the Environment Protection Act 1970, or
- An environmental auditor appointed under the Environment Protection Act 1979 must make a statement in accordance with Part IXD of that Act that the environmental conditions of the land are suitable for the sensitive use.

Fencing requirement

A planning permit which creates residential lots adjoining land in the Low Density Residential Zone or Lot 1 LP134693 or Lot 3 LP135303 must include a condition requiring fencing along the boundary of these lots. Fencing must be a minimum 1.8m high solid fence to be provided at the developer's expense and constructed prior to the issue of Statement of Compliance for the subdivision of the land

4.0

Requirements for development plan

[C121sgjp](#) 25/07/2019

A development plan must include the following requirements:

- The development plan must be prepared to the satisfaction of the Responsible Authority.
- The development plan may be approved in stages. Each development plan stage must represent a logical land development unit bounded by roads, natural features or the boundaries of the Development Plan Overlay map area.

[The development plan must show / provide:](#)

Land use and subdivision layout

- The proposed boundaries of the development area, and provide the strategic justification for those boundaries.
- The overall subdivision of the area, including where possible, the proposed size and density of allotments which provide opportunities for a diverse range of housing types.
- The provision of a sensitive residential interface with adjoining residential land and the school. Lots directly adjoining the Low Density Residential Zone (LDRZ) should have a minimum rear boundary width at the LDRZ boundary of an average of 20m and not less than 18 metres, and avoid (where possible) the creation of more than 2 new lots directly adjoining each established LDRZ lots. Buildings must be setback a minimum of 7m from the zone boundary.
- For lots with a primary frontage to Jumbunna Road and Sommers Crescent provide:
 - Minimum lot frontage of 18m
 - Minimum building front setback of 7m
- The provisions of a 2.5m wide reserve (unencumbered by landscaping or development) adjoining the southern side of Jumbunna Road to facilitate future widening of the shared pedestrian footpath to the school.
- A street networks that limits the creation of new road access points onto Jumbunna Road and support building frontages with two way surveillance.
- The overall pattern of development of the area, including any proposed re-zoning of land and proposed land uses.

Earthworks and Land Form

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- Where steeply sloping land exists on the site, the development plan shall detail how the proposed design responds to the topography and contours of the land and whether significant earthworks are likely to be required for subdivisions to ensure good development design outcomes are achieved. Where land exceeds a slope of 15% a geotechnical report must be prepared by an appropriately qualified person demonstrating the suitability of the land for development.
- The report must provide sufficient detail to ensure environmental, access and amenity issues are appropriately addressed. The report should detail whether building envelopes or other controls are likely to be required at the subdivision stage.

Infrastructure Services

- An integrated stormwater and flood management plan that incorporates water sensitive urban design techniques which provides for the protection of natural systems, integration of stormwater treatment into the landscape, improved water quality, and reduction and mitigation of run-off and peak flows, including consideration of downstream impacts.
- A comprehensive Traffic Impact Assessment prepared to the satisfaction of the Responsible Authority, in consultation with the Roads Corporation, that identifies the pattern and location of the major arterial road network of the area including existing roads and the location and details of any required:
 - road widening
 - signalised/unsignalised intersections
 - access points
 - pedestrian crossings or safe refuges
 - cycle lanes
 - bus lanes and stops
- The pattern and location of any internal road system based on a safe and practical hierarchy of roads including safe pedestrian and bicycle connections and crossing points in accordance with the background documents *South Gippsland Paths and Trails Strategy 2010 (as amended)* and *South Gippsland Open Space Strategy 2007 (as amended)*. The internal road network must specifically provide for:
 - A continuous road / pedestrian link from Prudence Close, across Sommers Crescent and through Lot 4 LP135303 to an exit point onto Jumbunna Road between the school and Lot 1 LP134693.
 - The potential for internal road connectivity to the existing dwelling lots that have potential for further subdivision.
- In consultation with relevant agencies and authorities, provision of public transport stops where appropriate within easy walking distance to residential dwellings and key destinations. Stops should also be located near active areas where possible.
- Identification of costs for infrastructure provision both onsite and offsite.

Open Space and Landscaping

- The location and size of the proposed open spaces that cater for a range of user groups and provide a variety of functions that perform both an active and passive role for recreation, as appropriate.
- Public open spaces designed to provide:
 - The inclusion of pedestrian and cycle paths and play equipment, that encourage active recreational opportunities.
 - Opportunities for visual surveillance to promote safety of users, through encouraging active frontages, using buildings to frame public spaces and locating open spaces within or adjacent to activity centres where possible.
- A landscaping plan, prepared by a suitably qualified person, identifying all proposed landscaping with particular regard to the interface with surrounding residential developments, open spaces, the bus depot, roads and the school. The landscape plan must include canopy tree plantings within both the internal and external road network to soften the visual impact of new development when viewed from within and outside the development area. The landscape plan must provide a high level of detail where new development is to adjoin Jumbunna Road, Sommers Crescent and new

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Connector Streets especially in areas where new development is inward facing and not addressing the road.

Flora and Fauna

- In consultation with the Department of Environment and Primary Industries, a flora and fauna survey, prepared by a suitably qualified expert which includes but is not limited to species surveys for the Gippsland Giant Earthworm, and measures required to protect the identified species.
- An assessment of any native vegetation to be removed having regard to Victoria's native vegetation management requirements, including how it is proposed to protect and manage any appropriate native vegetation.
- Regard must be had to the background document *West Gippsland Native Vegetation Plan 2003. (as amended)*.

Cultural Heritage

- A cultural heritage assessment including how cultural heritage values will be managed.

Land Contamination

- An investigation by an appropriately qualified person of the potential location and forms of land contamination resulting from previous land uses, as well as measures to address contamination in areas where sensitive land uses are proposed. The investigation must consider, but not be limited to, agricultural chemical use, informal land dumping, industrial & mining activities and former railway use.

Process and Outcomes

- The development plan should be prepared with an appropriate level of community participation as determined by the Responsible Authority.
- An implementation plan must be submitted as part of the development plan, indicating the proposed staging of the development and timing of infrastructure provision.
- The approved development plan may be amended to the satisfaction of the Responsible Authority.

Decision guidelines for development plan

Before deciding on a development plan, the Responsible Authority must be satisfied that the plan has regard to the following information contained within the following background documents:

- *Healthy by Design: a planners' guide to environments for active living®*, (National Heart Foundation of Australia - (Victorian Division, 2012) or as amended;
- *South Gippsland Path and Trails Strategy 2010 (as amended)*.
- *South Gippsland Open Space Strategy 2007 (as amended)*.
- *Korumburra Structure Plan 2010 (as amended)*

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SCHEDULE 8 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DPO8**.

RESIDENTIAL GROWTH AREA (NORTH WEST KORUMBURRA)

1.0 Objectives

C121sgjp 25/07/2019

None specified.

2.0 Requirement before a permit is granted

C121sgjp 25/07/2019

A permit may be granted before a Development Plan has been prepared to the satisfaction of the Responsible Authority for a minor extension, minor addition or minor modification to an existing development, boundary realignment, agricultural activity, vegetation removal or any other use that does not affect the future orderly development of the area affected by the Development Plan Overlay.

3.0 Conditions and requirements for permits

C121sgjp 25/07/2019

The following conditions and requirements apply to permits: [to comply with MD]

Before deciding on an application to subdivide land, construct buildings, or carry out works, the Responsible Authority must consider, as appropriate:

- A plan showing ~~The requirement for~~ building envelopes on any plan of subdivision for lots that abut 33 Korumburra-Warragul Road
- An appropriate mechanism to identify and apportion costs of land and services as development occurs, by way of Section 173 Agreement or alternative means.

4.0 Requirements for development plan

C121sgjp 25/07/2019

A development plan must include the following requirements:

General Requirements

- How the development of the land occurs in an orderly manner having regard to essential services, open space and roads.
- The timing and staging of the subdivision of the land.
- The potential for further subdivision of individual lots to negatively impact neighbourhood character.
- The interface between proposed and existing nearby developments.

Land use and subdivision

- Details of the interfaces with neighbouring uses of land.
- Any noise mitigation requirements associated with proximity to the South Gippsland Highway and Korumburra - Warragul Road.
- The overall subdivision of the area, including where possible, the proposed size and density of allotments which provide opportunities for a diverse range of housing types.
- Street network that:
 - Limits the creation of new road access points onto Korumburra - Warragul Road
 - Support building frontages which promote passive surveillance of the street network.
- A staging plan that demonstrates an efficient and orderly provision of infrastructure and services.

Earthworks and Land Form

- Where land with a slope of more than 10% exists on the site, the Development Plan shall detail how the proposed design responds to the topography and contours of the land and whether

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significant earthworks are likely to be required for subdivisions to ensure good development design outcomes are achieved.

- Where land exceeds a slope of 15% a geotechnical report must be prepared by an appropriately qualified person demonstrating the suitability of the land for development. The report must provide sufficient detail to ensure environmental, access and amenity issues are appropriately addressed. The report should determine whether building envelopes or other controls are likely to be required at the subdivision stage.

Infrastructure Services

- An integrated Stormwater Management Plan that incorporates water sensitive urban design techniques and provides for the protection of natural systems, integration of stormwater treatment into the landscape, improved water quality, reduction/mitigation of run-off and peak flows including consideration of downstream impacts and how they may be affected by roadworks to neighbouring properties.
- A comprehensive Traffic Impact Assessment that identifies the pattern and location of the major arterial road network of the area including existing roads and the location and details of any required:
 - road widening
 - intersections
 - access points
 - pedestrian crossings or safe refuges
 - cycle lanes
- The pattern and location of any internal road system based on a safe and practical hierarchy that accounts for pedestrian and bicycle connections and crossing points.
- Identification of costs for infrastructure provision both onsite and offsite.

Open Space

- The location of any open space reserves and details of the provisions of building / works / equipment within the open space. Open space should be located on a flatter area of land and capable of easy drainage.

Flora and Fauna

- In consultation with the Department of Environment, Land Water and Planning, a Flora and Fauna Assessment, prepared by a suitably qualified expert(s) which includes, but is not limited to, species surveys for Gippsland Giant Earthworm and measures required to protect the identified species.

Land Contamination

- An investigation by an appropriately qualified person is required, which considers the potential location and forms of land contamination resulting from previous land uses, as well as measures to address contamination in areas where sensitive land uses are proposed. The investigation must consider but not be limited to, agricultural chemical use, informal land dumping, industrial & mining activities.
- This can initially take the form of a limited desktop study but further detailed investigation may be required should there be sufficient concern of a risk to sensitive uses of the land, as determined by the Responsible Authority.

Process and Outcomes

An Implementation Plan must be submitted as part of the Development Plan, indicating the proposed staging of the development and timing of infrastructure provision.

SCHEDULE 9 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DPO9**.**WESTERN LEONGATHA RESIDENTIAL GROWTH AREA****1.0 Objectives**

C121sgjp 25/07/2019

None specified.

2.0 Requirement before a permit is granted

C121sgjp 25/07/2019

A permit may be granted before a development plan has been prepared to the satisfaction of the responsible authority for:

- The use and development of land for Agriculture that does not prejudice the future residential use and development of land, or residential amenity of surrounding areas.
- A fence.
- The removal, destruction or lopping of vegetation.
- Minor drainage and/or earthworks.

3.0 Conditions and requirements for permits

C121sgjp 25/07/2019

The following conditions and ~~for~~ requirements apply to permits (unless specifically otherwise agreed to by the responsible authority):

A planning permit application for the subdivision or development of the land in accordance with the approved development plan must include a town planning report prepared by a suitably qualified person demonstrating how the permit application addresses the requirement of the planning scheme and the approved development plan. The report must specifically demonstrate how the subdivision of land responds to and facilitates the integrated development of the entire DPO9 area.

- Where subdivision creates lots adjoining Shingler Street (Old Korumburra Road) and Gibson Street, a condition requiring construction of a 2.5 metre wide shared pathway adjoining the land being subdivided.
- Where the development plan identifies minimum lot size and boundary setback requirements on steep sloping land, a permit condition requiring the restrictions are registered on the lot titles to be created by the subdivision via covenant, Section 173 Agreement, restriction on a plan of subdivision or other mechanism as agreed to by the responsible authority.
- An appropriate mechanism to identify and apportion development costs of land and services, payable by the developer or landowner commensurate with each stage of development, by way of Section 173 Agreement or alternative means agreed by the responsible authority.
- The provision of infrastructure, open space and landscaping maintenance periods in accordance with Council's Infrastructure Design Manual.

Planning permit applications for each residential subdivision stage must consider the views of ~~VicRoads~~ the Department of Transport [NEW, requested by DPOT] in regards to the potential impact of additional traffic movements on the ~~major~~ [NEW, requested by DPOT] arterial road network.

4.0 Requirements for development plan

C121sgjp 25/07/2019

Development plan explanatory note:

The residential development of the land in DPO9 is anticipated to occur over an extended period of time. Accordingly, flexibility is beneficial for the timing of when highly specific development plan information is required to be provided. However to achieve integrated, coordinated development across the entire area it is important that a 'Whole of site development plan' be approved to establish key development principles before any smaller stage of the development plan is approved. This process will ensure that each stage has appropriate regard to the complete development of the DPO9 land.

A development plan must include the following requirements:

Whole of site development plan

Before a development plan stage is approved, a 'Whole of site development plan' must be prepared by the developer and approved by the responsible authority.

Before approving the 'Whole of site development plan' the responsible authority will seek and consider the views of residents and landowners in the immediate area and other relevant stakeholders.

The plan must consider all land in DPO9 and should be guided by Council's Infrastructure Design Manual 'Outline Development Plans' objectives and requirements. The plan must be based on a site analysis and design response and provide (at minimum):

- A Traffic Impact Assessment Report addressing the location of Connector Streets across the land, road intersections around the boundaries of the land, how the road network integrates and impacts the existing road network including the major arterial road network (details of road and intersection upgrading that may be required, including concept plans), the provision of road connectivity to the west and south of the DPO9 area, pedestrian and cycle connectivity, costings of off-site infrastructure upgrades. The report must specifically consider:
 - Upgrading of Worthy Street (west of Brown Street) to achieve Connector Street access standard and the timing (related to staging) when upgrading will be required.
 - Traffic impacts on the arterial road network and specifically the intersections of Worthy Street/Bass Highway and Shingler Street/South Gippsland Highway and the timing (related to staging) when any upgrades might be required.
- A Stormwater Management Plan (SMP) detailing the location and size of drainage reserves, drainage retardation and treatment systems with consideration to water sensitive urban design (WSUD) principles. The SMP must consider off-site drainage impacts and/or infrastructure upgrades that may be required in a full development scenario and indicate at which stage the requirements are to be carried out. The SMP must specifically consider and respond to stormwater requirements in waterways and easements on public and private land east of Gibson Street and south of Higg Street.
- The location of active and passive open space addressing (at minimum) the open space provisions and requirements of the planning scheme and specifically identifying land the developer will provide as a flat 'active open space' area unencumbered by drainage requirements. The active open space reserve should be located on a connector street and have active frontage wherever possible. Details of the staging (timing) of all open space provision is required.
- Staging details of future land rezoning and/or subdivision stages within rezoned land.
- An assessment against the residential subdivision provisions of the planning scheme.

The 'Whole of site development plan' may be amended with the written consent of the responsible authority.

Development plan

The development plan may be approved in stages, to the satisfaction of the responsible authority. A development plan stage must not be approved until the 'Whole of site development plan' has been approved by the responsible authority.

Before approving a development plan the responsible authority will seek and consider the views of residents and landowners in the immediate area and other relevant stakeholders.

The development plan for each stage must show or provide (unless set aside or varied by the responsible authority):

General requirements

- A report demonstrating how the development plan stage responds to the requirements of the 'Whole of site development plan'.

Land use and subdivision layout

- Dwelling densities are to reflect the opportunities and constraints of the land. Lower densities should generally be provided on land with slopes greater than 10% and higher densities should generally be provided on flatter land and adjacent to open space.

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- Where the pre-development slope equals or exceeds 10%, larger lots should be created (increasing in size commensurate to the slope of the land). Within these lots building envelopes must be identified and sited to:
 - Minimise earthwork requirements for slab construction dwellings.
 - Avoid the requirement for earthwork retaining walls within 1 metre of a lot boundary.
 - Protect passive solar access to dwellings sited in cuts.
 - Provide additional front setbacks (not less than 7 metres) where the slope falls predominantly down the length of the lot.

Note: The lot size, building envelope and retaining wall restrictions will be made an ongoing restriction on the lot titles via the planning permit conditions for the subdivision of the land.

- Lots adjoining Shingler Street and Gibson Street must be oriented to front the road. Internally facing subdivisions will not be supported.
- Street network designs promoting passive surveillance of the street network.

Drainage

- The Stormwater Management Plan (SMP) must address all internal and external catchments that may impact on the proposed development.
- The catchment area relevant to each stage is to be identified along with drainage outfall locations, new drainage works, detailed flow and flood levels for the 1% 'Annual Exceedance Probability' storm event as a result of development.
- How the subdivision of the land will cater for flooding and waterway enhancement works (including WSUD), including setbacks from waterways and protection of riparian values either side of designated waterways on the land to be rezoned.
- How it is intended to manage waterways and flows that run through the land.
- Any SMP must show how water flow rates will not exceed pre-development levels beyond the boundary of the subject land to the satisfaction of the responsible authority.

Geotechnical report

- Where land exceeds a slope of 15% a geotechnical report must be prepared by an appropriately qualified person demonstrating the suitability of the land for development. The report must provide sufficient detail to ensure environmental, access and amenity issues are appropriately addressed. The report should determine whether building envelopes or other controls are likely to be required at the subdivision stage.

Infrastructure services

- A comprehensive Traffic Impact Assessment Report identifying the pattern and location of the major arterial road network of the area including:
 - Existing roads.
 - Effects to surrounding intersections that might be affected by the proposal.
 - Proposed treatments to intersections affected by the development stage under consideration and how they integrate with future and existing road networks.
 - The location and details of any required road widening, intersections, access points, pedestrian crossings or safe refuges, and cycle lanes.
- The main access road from Shingler Street should, to the satisfaction of the responsible authority, be constructed as Collector/Connector Street Level 1 along its entire length from Shingler Street internally through the site to Worthy Street and the design agreed to in writing by the responsible authority.
- All other subdivision roads should at a minimum be constructed to the specifications included in the Infrastructure Design Manual and agreed to in writing by the responsible authority.
- The pattern and location of the internal road system based on a safe and practical hierarchy of roads including safe pedestrian and bicycle connections and crossing points.
- An accessible and integrated network of walking and cycling routes allowing safe and convenient travel to future and existing developments, open spaces and integrated with the established residential area to the east.

- Each development plan stage must consider the views of VicRoads in regards to the potential impact of additional traffic movements on the major arterial road network.

Open space and landscaping

- The location of open space reserves and details of the provisions of infrastructure, buildings, works and equipment within open space reserves.
- Details of when open space reserves are to be provided within the staging of the development of the land. Timing of open space provision must accord with anticipated demand with key open space reserves provided by the early to mid-stages of the development of the development plan area and specifically not left to final stages.
- Public open spaces should, to the satisfaction of the responsible authority, be:
 - Designed to integrate with other reserves and public areas where possible.
 - Designed to provide active frontages and opportunities for visual surveillance to promote safety of users.
 - Located on flatter land and capable of easy drainage.
 - Located in areas not required for stormwater management.

Public open spaces should not contain a slope angle greater than 5%.

- A landscape plan, prepared by a suitably qualified person, identifying all proposed native vegetation removal and new landscaping with particular regard to the interface with surrounding residential areas, open space and roads.

The landscape plan must include canopy tree plantings within both the internal and external road network adjoining the development to soften the visual impact of new development when viewed from within and outside the development area.

The landscape plan must provide a high level of detail where new development is adjoining Shingler Street and Gibson Street and new Connector Street.

Land contamination

A limited desktop assessment must be undertaken by an appropriately qualified person of the potential location and forms of land contamination resulting from previous land uses. In any case where contamination is identified, the report will consider the measures to address contamination in areas where sensitive land uses are proposed as necessary. The investigation must consider, but not be limited to, agricultural chemical use and informal land dumping.

Development contributions

It is the expectation of the responsible authority that a developer commitment to provide an appropriate level of developer contributions will be made in association with the residential rezoning and subdivision of land in the DPO9 area. The commitment to developer contributions should preferably occur as part of the rezoning process.

In recognition of the likely extended timelines of the development of the DPO9 land (and likely changes to the planning system across this timeframe in relation to how developer contributions are secured), each development plan stage must provide details of how each stage has addressed the provision of developer contributions commensurate to the additional demand on development and community infrastructure resulting from the subdivision of land.

Process and outcomes

An implementation plan must be submitted as part of each development plan stage, indicating the proposed staging of subdivision land release within the development plan stage and the development and timing of infrastructure provision.

SCHEDULE 10 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DPO10**.

NYORA URBAN RESIDENTIAL GROWTH AREA (SOUTH OF GLOVERS ROAD)

1.0**Objectives**

C121sgjp 25/07/2019

None specified.

2.0**Requirement before a permit is granted**

C121sgjp 25/07/2019

A permit may be granted before a development plan has been prepared to the satisfaction of the responsible authority for the following:

- A minor extension, minor addition or minor modification to an existing development.
- Minor drainage works.
- Minor earthworks.
- The use and development of land for agriculture.
- The use, development or subdivision of land by a public authority or utility provider.
- The re-subdivision of existing lots (boundary realignment), provided the number of lots is not increased.
- A fence.
- The removal, destruction or lopping of vegetation.

3.0**Conditions and requirements for permits**

C121sgjp 25/07/2019

The following conditions and requirements apply to permits: [to comply with MD]

- Planning permit applications for the subdivision or development of the land must include a town planning report prepared by a suitably qualified person demonstrating how the permit application addresses the relevant requirements of the Planning Scheme and the approved Development Plan.
- Planning permit applications for residential subdivision must include a report prepared by a suitably qualified person demonstrating the need for the release of additional residential land.
- Planning permits for residential subdivision (excluding lots to be further subdivided at a future stage) must include a condition requiring all lots to be connected to a reticulated sewerage system to the satisfaction of the responsible authority.
- Planning permits for residential subdivision which creates lots that retain clusters of native vegetation (particularly vegetation adjoining Glovers Road and riparian vegetation) must include the following conditions:
 - Building envelopes must be identified for each lot. The building envelopes must be located in areas free of native vegetation and appropriately separated from the vegetation to reduce bushfire risk to building and occupant. The building envelopes must be registered on the title to each lot via covenant, Section 173 Agreement or restriction on a plan of subdivision.
 - The lots which retain native vegetation stands/clusters that adjoin Glovers Road must not be further subdivided. This restriction must be registered on the title to each lot via covenant, Section 173 Agreement or restriction on a plan of subdivision.
- Planning permits for the subdivision of land which create lots directly adjoining the boundary of established residential lots along Hatches Road must include a condition requiring a 4 metre wide amenity buffer. The amenity buffer must be registered on the title to each lot via covenant, Section 173 Agreement or restriction on a plan of subdivision.
- Planning permits for the residential subdivision of land which creates lots immediately adjoining lots within the Low Density Residential Zone must include a condition requiring fencing along the boundary of these lots. Unless specifically agreed otherwise with an adjoining landowner, fencing must be a minimum of 1.8 metre high solid fence. The fence is to be constructed at the

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developer's expense and constructed prior to the issue of Statement of Compliance for the subdivision of the land.

- The subdivision lot size, configuration and setback requirements set out in the 'Requirements for development plan' below, or special subdivision design requirements identified in the approved Development Plan, must be included as a planning permit condition for the subdivision of the land and executed via a covenant, Section 173 Agreement or restriction on a plan of subdivision.
- The planning permit for the first residential subdivision adjoining (fronting) Lang Lang Poowong Road or service road, must include a condition requiring the construction of a shared pathway no less than 2.5 metres wide along Lang Lang Poowong Road between the subject land and Forster Drive.
- Planning permits for development over or adjoining dams must include conditions that:
 - Set out requirements to remediate the dams.
 - Require the submission of an engineer's report to confirm that remediated dams are suitable for the intended development.
- Planning permits for the subdivision of land must include a condition requiring the provision of infrastructure, open space and landscaping maintenance periods in accordance with the Infrastructure Design Manual (as amended).
- Planning permits for the development of land on lots greater than 800sqm must include a condition requiring a minimum front setback of 7 metres and 3 metres setback from any side road boundary.

4.0

Requirements for development plan

C121sgjp 25/07/2019

A development plan must include the following requirements:

- Be prepared to the satisfaction of the responsible authority.
- Be prepared for the entire land parcel to which this schedule applies.
- Be informed by a detailed site analysis and design response and include the requirements of Clause 56.01-1 and 2. The site analysis and design response should respond to the natural, cultural and strategic context of the site.

The Development Plan must include or show:

Layout

- The location of lots, lot sizes and density.
- A diversity of lot sizes, with the overall development having an average lot size of 700 – 800 sqm.
- The location and layout of all key features of the land.
- The provision of larger lots (greater than 800 square metres and with frontages of not less than 20 metres) located along the southern boundary (adjoining Lang Lang – Poowong Road) and the western boundary (adjoining Yannathan Road) of the subject land and adjoining internal 'Connector Street'.
- Allowance for the creation of lots in excess of 2,000sqm in areas containing good quality native vegetation stands particularly adjoining Glovers Road.
- Building envelopes on lots that retain clusters of native vegetation must be appropriately separated from the vegetation to reduce bushfire risk.
- The provision of lots along Lang Lang Poowong Road and Yannathan Road must front and address these roads and are strongly discouraged from being side or rear facing lots.
- The provision of lots within the area directly adjoining the boundary of the established residential lots along Hatches Road must include:
 - A minimum building setback of 7 metres from the adjoining Low Density Residential Zone boundary.
 - A 4 metre wide amenity buffer for landscape planting.
 - No more than two new lots directly adjoining the rear boundary of established residential lots fronting Hatches Road.

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- A lot size of no less than 1,000 square metres.
- One new lot directly adjoining the rear boundary of 16 Hatchs Road (Lot 2 PS543620).
- A layout which responds to the existing waterways, riparian vegetation and other native vegetation stands across the land.
- A layout which ensures the retention of prominent stands of existing native vegetation on public land (i.e within road reserves, drainage reserves or local parks), where appropriate including:
 - Along the major drainage line through the site.
 - Within the road reserve of Lang Lang Poowong Road and Yannathan Road.
 - At the north-west corner of Lot 1 LP213970 that is visible along Yannathan Road when approaching the town.
 - Within the Glovers Road road reserve.
- At prominent high points of the land, a subdivision road layout which provides for road reserves configured to allow canopy tree planting in widened verge strips or central median strips to soften the visual impact of buildings when viewed from surrounding areas. This does not apply if high points are located within proposed open space areas.
- A layout which provides for a 'Connector street level 1' road and a intersection with Lang Lang Poowong Road and Yannathan Road to the satisfaction of VicRoads and the responsible authority.
- A layout which provides for a 2.5 metre wide pedestrian/cycle path along Lang Lang Poowong Road between the subject land and Forster Drive.
- A layout which provides for a minimum of two pedestrian/cycle connections to Glovers Road, one of which is to be located from Lot 12 LP148069B.
- A layout which provides for a road network that delivers a safe, permeable and convenient road network. Cul-de-sacs should only be provided where necessary and should not detract from convenient pedestrian and vehicular connections.

Staging Plan

- Details of the proposed staging of subdivision land releasing across the entire area with the land identified in the Nyora Framework Plan map as 'Long Term Residential Area' (east of the waterway) to be identified as 'later stages' in the development of the land at Lot 12 LP148069B. Each identified stage should consist of a logical land unit bound by roads, waterways or natural features, or based on servicing/engineering design, or the boundaries of the Development Plan Overlay map area.
- Stage 1 should contain no more than 200 lots designed to be used for dwellings.

Infrastructure Services

- A comprehensive Traffic Impact Assessment Report (based on a full development scenario) prepared by a suitably qualified person to the satisfaction of the responsible authority and VicRoads. The report must include:
 - The impact of the development on the existing road network and intersections surrounding the land.
 - Improvements necessary to facilitate the development of the land, including road widening, access points, pedestrian crossing points and safety refuges, cycle lanes etc.
 - All intersections and roads impacted as a direct consequence of a full development scenario and costings for intersection and road treatments associated with those impacts.
- A Road Hierarchy Plan for the internal road network across the entire development plan area detailing all roads 'Access Street – Level 1' and above. The Road Hierarchy Plan:
 - Should identify a 'Connector Street level 1' road and intersection with Lang Lang Poowong Road and Yannathan Road to VicRoads and the responsible authority's satisfaction.
 - Must identify a shared pathway no less than 2.5m wide along Lang Lang Poowong Road between the subject land and Forster Drive.
 - Must identify a minimum of two pedestrian/cycle connections to Glovers Road one of which is to be located from Lot 12 LP148069B. The access paths should restrict vehicle movements (if

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proposed as a long term option) until such time as they are upgraded to an appropriate service level.

- Must provide for a continuous east/west vehicle, pedestrian and cycle movement across the land (at 'Connector Street level 1' standard) with a design/configuration to minimise the use of the internal roads as an alternate vehicle route to the existing main road network. If the continuous east/west route does not cross the main waterway traversing the land, then a road, pedestrian, cycling crossing of the waterway must be provided approximately midpoint along the length of the waterway (at 'Connector Street level 1' Standard) to service the eastern corner of the land.
- Must address the long term need to retain or close the unmade road reserve to vehicles between the northern end of Hatchs Road and Yannathan Road.
- A subdivision design providing an appropriately sited reserve (justified by the Traffic Impact Assessment Report) capable of becoming a long term future 'Connector Street' with an access point onto Glovers Road. The reserve should allow for logical integration with the subdivision road network however should remain unconstructed and untrafficable until such time as Glovers Road is appropriately constructed or the land to the north of Glovers Road is developed in the very long term. The subdivision design should also ensure:
 - A pedestrian/cycle pathway network that responds to the waterways and riparian vegetation network across the subject land.
 - A street network that supports building frontages with natural surveillance of the street.

Stormwater and Drainage

- A stormwater and drainage management plan prepared by a suitably qualified person that demonstrates:
 - Integrated stormwater management planning across the subject land, including consideration of impacts outside of the subject area likely to occur as a result of development.
 - A response to the Infrastructure Design Manual (as amended) and detailed costings for all stormwater drainage works to occur on public land or outside of the development plan area if directly related to the development.

Open Space and Landscaping

- The location and size of proposed open spaces that can cater for a range of uses for active and passive recreation, including:
 - An area of not less than 4 hectares located on Lot 12 LP148069 in a flatter area of land not affected by waterlogging. The identified area should allow for a sports ground which can accommodate a full size football field where minimal earthworks will be required. The development plan or Staging Plan must identify and commit to the provision of the open space to be delivered at a time to the satisfaction of the responsible authority. .
 - Active open space areas, which are to be made flat and safe for public use by the subdivider/developer prior to their transfer to the responsible authority.
 - Identification of open space areas that are affected by drainage or waterlogging.
 - The provision of a local park between 0.35-0.5 hectares in size on Lot 2 LP213970.
 - Pedestrian and cycle paths and play equipment that encourage active recreational opportunities.
 - Opportunities for visual surveillance of public open space to promote safety of users, through encouraging active frontages, using buildings to frame public spaces.
 - Low scale and visually permeable fencing of open space (whether encumbered or unencumbered).
- Provision for the planning and payment of open space features, which must be made by agreement between the responsible authority and the subdivider/developer prior to the approval of the development plan.
- A landscape masterplan prepared by a suitably qualified person, identifying:
 - All proposed public landscaping (with particular regard to the interface with surrounding residential developments) of all open space areas.

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- Proposed landscaping along the road network and shared paths within or abutting the development plan area.
- The location of canopy tree plantings within the proposed road network to soften the visual impact of new development when viewed from within and outside the development area.
- Planting to enable practical maintenance and plants suitable to the local climate and soil conditions.
- Plantings integrated with the proposed waterways and drainage reserves.
- All existing vegetation to be retained and removed.
- An arborists report identifying native vegetation to be retained and protected in public spaces and works required for public safety and suitability of retention for open space areas.
- Retention of the treed entry into Nyora along Lang Lang Poowong and Yannathan Roads by incorporating the trees in public land within nature strips or boulevards where appropriate.
- A diversity of streetscape outcomes across the development plan area.

Bushfire

For vegetated areas to be retained, an indicative subdivision plan and building envelope plan which address and responds to the 'Application requirements' of Clause 53.02 and the 'Subdivision objectives' of Clause 53.02-4.4.

The information must be sufficiently detailed to identify bushfire safe building envelopes on lots to be created within 150m of vegetation stands. This information is required to inform the identification of the bushfire building envelopes required in the 'Conditions and requirements for permits'.

Cultural Heritage

Unless otherwise agreed by the responsible authority, a cultural heritage assessment prepared by a suitably qualified heritage consultant.

Land Contamination

A desktop assessment undertaken by an appropriately qualified person that considers the potential location and forms of land contamination resulting from previous land uses. In the case where contamination is identified, the report must consider the measures to address contamination in areas where sensitive land uses are proposed. The investigation must consider, but not be limited to, agricultural chemical use, informal land dumping, industrial or mining activities.

Environment

A flora and fauna report prepared by a suitably qualified person. The report(s) must consider:

- Vegetation on the land, its health and significance to the locality, measures required to protect vegetation and the identification of any vegetation to be removed.
- A survey and assessment of impacts of the proposed development plan layout on the Giant Gippsland Earthworm habitat. This assessment must be conducted by a suitably qualified person to the satisfaction of the Department of Environment, Land, Water and Planning and the responsible authority.

Decision guidelines for development plan

Before approval of the development plan (or development plan stage) or an amendment to the Development Plan, the responsible authority must consider the background documents:

- *Nyora Structure Plan - June 2013.*
- *South Gippsland Shire Council Paths and Trails Strategy 2010.*
- *Healthy by Design ®, A guide to planning environments for active living in Victoria, Melbourne: National Heart Foundation of Australia, updated June 2012 (as amended), National Heart Foundation of Australia (Victoria Division).*
- *Infrastructure Design Manual (version 4.2, October 2015)(as amended).*
- The views of the Country Fire Authority, Melbourne Water, Department of Environment, Land, Water and Planning and VicRoads, as relevant.

SCHEDULE 11 TO CLAUSE 43.04 DEVELOPMENT PLAN OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **DPO11**.**BERRYS CREEK ROAD RESIDENTIAL DEVELOPMENT AREA****1.0 Objectives**

C121sgjp 25/07/2019

None specified.

2.0 Requirement before a permit is granted

C121sgjp 25/07/2019

A permit may be granted before a development plan has been prepared for the following:

- Minor drainage works.
- Minor earthworks.
- The use and development of land for agriculture.
- The use, development or subdivision of land by a public authority or utility provider.
- A re-subdivision of existing lots (boundary realignment) provided the number of lots is not increased.
- A fence.
- The removal, destruction or lopping of vegetation.

3.0 Conditions and requirements for permits

C121sgjp 25/07/2019

The following conditions and/or requirements apply to permits: [to comply with MD]**Subdivision**

Subdivision applications that create residential lots must be accompanied by:

- A town planning report prepared by a suitably qualified person, demonstrating how the permit application addresses the relevant requirements of the planning scheme and the approved development plan.
- An engineering report demonstrating compliance with the background document *South Gippsland Shire Council's Infrastructure Design Manual*.
- A report addressing the requirements of Clause 52.17 Native Vegetation with consideration of offset requirements in accordance with the background document *Permitted clearing of native vegetation – Biodiversity assessment guidelines (DEPI, 2013)*.

Planning permits

Planning permits that create residential lots must include conditions requiring:

- All lots to be connected to a reticulated sewerage system to the satisfaction of the responsible authority.
- Provision of infrastructure, open space and landscaping maintenance periods in accordance with the background document *South Gippsland Shire Council's Infrastructure Design Manual*.
- Construction of footpaths in Berrys Creek Road reserve in accordance with the locations and any staging of footpath provision detailed in the approved development plan.
- Building envelopes or agreements to be registered on residential lot titles to achieve any development restrictions set out in the approved development plan.

4.0 Requirements for development plan

C121sgjp 25/07/2019

The development plan must be prepared to the satisfaction of the responsible authority.

The development plan:

- Must be prepared for the entire land parcel to which the schedule applies.

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- Must be informed by a detailed site analysis and design response that responds to the natural, cultural and strategic context of the site.

The A development plan must ~~provide include~~ the following ~~information requirements~~ [to comply with MD] unless otherwise agreed by the responsible authority:

Layout

- Subdivision of the land, which must be designed in an efficient and orderly manner having regard to the provision of services, , infrastructure, roads, pathways, open space and reserves.
- Proposed number, location and size of lots.
- Subdivision layout that responds to the topography of the land. Where land slope exceeds:
 - 10 per cent identify where earthworks are required to facilitate development.
 - 15 per cent a geotechnical assessment report prepared by an appropriately qualified person demonstrating the suitability of the land for the development of dwellings and roads and which also considers the requirement to apply building envelopes to avoid development on very steep and/or unstable land.
- A subdivision layout that:
 - Provides at least 30 lots with sizes generally 600-800 square metres.
 - Provides a single access point onto Berrys Creek Road. A second access onto Berrys Creek Road is discouraged, unless justified by a traffic impact assessment report demonstrating why a single access point cannot be used to service the entire land.
 - Restricts lots having direct vehicle access onto Berrys Creek Road. If a lot(s) has direct vehicle access to Berrys Creek Road, demonstrates how this can be achieved in a safe manner to the satisfaction of the responsible authority.
 - Allows continuous vehicle and pedestrian movement across the land, with connectivity across Reserve 1 on PS609443V (sewer reserve lot).
 - Provides a road network that responds to the topography and the contours of the land which minimises large scale excavation, retaining walls or batters particularly if court bowls are proposed.
 - Provides a road network and subdivision layout that ensures future road access point to the land on the western boundary of the subject land.
 - Provides larger lots (greater than 800 square meters) with wider frontages (not less than 20 meters) on steeper land with a cross fall slope (across the narrow axis of the lot) of 10 per cent or greater.
 - Creates no more than five new dwelling lots along the edge of the northern DPO boundary (shared with Lot 2 PS537386). The new lots must have building envelopes that provide for generous setbacks from the Lot 2 PS537386 boundary.
 - Locates open space to maximise its use and effectiveness.
 - Retains existing native vegetation on the land if supported by the required arborist report.
- Addresses any other matter specific to the circumstances and character of the land as deemed appropriate by the responsible authority.

Staging plan

- A subdivision staging plan (if staging is proposed) that:
 - Provides for the efficient and orderly development of the land and the orderly provision of infrastructure and services.
 - Identifies off site development contributions and when they are to be provided in accordance with any agreement registered on the title of the subject land.

Infrastructure

- Unless otherwise agreed by the responsible authority the subdivider/developer of the land must provide, fund and/or install all infrastructure to the satisfaction of the responsible authority and in accordance with the background document South Gippsland Shire Council's Infrastructure Design Manual, and:

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- Provide functional design details for all infrastructure including details of earthworks, vegetation removal and any other works required.
- Secure all off site infrastructure required for the development of the land via a Section 173 Agreement.
- Consult with Gippsland Water regarding details of any changes that may be required to Reserve 1 on PS609443V (sewer reserve lot).

Drainage and stormwater

- A stormwater management plan that:
 - Incorporates water sensitive urban design (WSUD) techniques and provides for the protection of natural systems, environmental and recreational values wherever practical, integration of stormwater treatment into the landscape to achieve a high level of landscape amenity, reduction/mitigation of run-off and peak flows including consideration of downstream impacts and how they may be affected by road works to neighbouring properties. The plan must demonstrate the overall quantity and quality of discharge meets best practice standards and quantify long term maintenance and operation costs in the design and location of WSUD features.
 - Demonstrates how stormwater quality and quantity can be suitably treated including the need (or otherwise) for kerb and channel along Berrys Creek Road to control runoff from the road and ensure no adverse impacts on new lots abutting the road.

Roads

- A Traffic Impact Assessment Report (TIAR), based on a full development scenario, prepared by a suitably qualified person to the satisfaction of the responsible authority and VicRoads. The TIAR must address, unless otherwise agreed by the responsible authority:
 - The impact of the development on the existing road network and intersections surrounding the land, notably Grand Ridge West intersection.
 - Improvements necessary to facilitate the development of the land, including road widening, access points, pedestrian crossing points and safety refuges, cycle lanes.
 - The pattern and location of the internal road system (as detailed in the subdivision layout plan) based on a safe and practical hierarchy of roads including safe pedestrian and bicycle connections and crossing points.

Footpaths

- A footpath network that provides a 1.5 meter wide concrete footpath:
 - On all internal roads within the subject land.
 - On the western side of Berrys Creek Road which connects the access road to the subject land to the northern boundary of the subject land, linking with any adjoining footpath existing or proposed.
 - On the eastern side of Berrys Creek Road connecting the existing footpath north of Fary Court and running north east to Grand Ridge West.

Note: A footpath is not required on the western side of Berrys Creek Road south of the road access (or southernmost road access point) to the subject land.

Open space and landscaping

- Open space in accordance with Clause 53.01 . Easement reserves (including Reserve 1 on PS609443V - sewer reserve lot) on the land will not be considered open space for the purpose of Clause 53.01 unless fully integrated with the overall subdivision design, including active frontage.
- A landscaping masterplan, prepared by a suitably qualified person, addressing:
 - Landscaping along the proposed road network and footpaths within and abutting the development plan area.
 - Street tree planting (canopy trees) dispersed within all internal road reserves and abutting the land within the Berrys Creek Road reserve at suitable intervals to enhance the streetscape and soften visual impacts when viewed from within and outside the subject land.
 - Trees and landscape planting suited to the local climate and soil conditions

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- Landscaping designed for easy maintenance.
- Details of vegetation to be removed.
- Provide low scale (not exceeding 1.2 meters) visually permeable fencing of open space areas (encumbered or unencumbered) including any fencing of open space areas abutting any residential lots.
- Provide an arborist report, prepared by a suitably qualified person that determines the health and viability of trees on the land and identifies which trees are to be retained, removed or made safe (and works required to make safe).

Land contamination

A desktop assessment undertaken by an appropriately qualified person that considers the potential location and forms of land contamination resulting from previous land uses. In the case where contamination is identified, the report must consider the measures to address contamination in areas where sensitive land uses are proposed. The investigation must consider, but not be limited to, agricultural chemical use, industrial use, informal land dumping, or mining activities.

Decision guidelines for development plan

Before deciding on the development plan (or development plan stage) or an amendment to the development plan, the responsible authority must consider the requirements in this schedule.

SCHEDULE 1 TO CLAUSE 44.01 EROSION MANAGEMENT OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **EMO1**. [to comply with MD]**1.0 Erosion management objectives to be achieved**

C121sgjp 25/07/2019

None specified.

2.0 Statement of risk

C121sgjp 25/07/2019

None specified.

3.0 Permit requirement

C121sgjp 25/07/2019

A permit is not required to construct the following buildings or to construct or carry out the following works:

Agricultural activities:

- Agricultural activities including ploughing and fencing.
- Buildings or works specifically identified in a whole farm plan prepared to the satisfaction of the responsible authority.

Power lines:

Telephone or power lines provided they do not involve the construction of towers.

Buildings:

- An extension to an existing dwelling provided the additional floor area is less than 50 square metres and provided the construction is carried out in accordance with *Construction Techniques for Sediment Pollution Control (EPA May 1991)* and the background document *Control of Erosion on Construction Sites (Soil Conservation Authority)*.

~~An application must be accompanied by information regarding the likely effect of the proposed building and works on adjoining and nearby land.~~ [move to application requirements] [these are application requirements]

4.0 Application requirements

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 44.01, in addition to those specified in Clause 44.01, and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority: [to comply with MD]

An application must be accompanied by information regarding the likely effect of the proposed building and works on adjoining and nearby land. [Permit requirement]

~~None specified.~~

5.0 Decision guidelines

C121sgjp 25/07/2019

None specified.

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SCHEDULE 1 TO CLAUSE 44.04 LAND SUBJECT TO INUNDATION OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **LSIO1**. [to comply with MD]

1.0 Land subject to inundation objectives to be achieved

C121sgjp 25/07/2019

None specified.

2.0 Statement of risk

C121sgjp 25/07/2019

None specified.

3.0 Permit requirement

C125sgjp 08/09/2022

A permit is not required for any of the following:

- A new dwelling in a residential zone in the townships of Sandy Point, Venus Bay and Tarwin Lower, provided the finished floor level of the habitable building is 3.4 metres or more above Australian Height Datum (AHD).
- A new dwelling in a residential zone in the township of Port Welshpool, provided the finished floor level of the habitable building is 3.0 metres or more above AHD.
- A ground floor extension to an existing habitable building (including a dwelling) provided the proposed floor level is at or above the highest point of the existing floor level and the gross floor area of the extension does not exceed 20 square metres.
- An upper storey extension to an existing building within the existing building footprint.
- A single Replacement dwelling provided that the floor level is above the applicable floor levels set by the relevant floodplain management authority.
- A non-habitable building (other than a building associated with the use of land for industry or for a public or commercial use) with a floor area less than 20 square metres.
- A non-habitable building, or extension to a non-habitable building (other than a building associated with the use of land for industry or for a public or commercial use) provided the finished floor levels are above the applicable floor levels set by the relevant floodplain management authority.
- A pergola, open sided carport or in-ground swimming pool/spa (including plant equipment and safety features normal to a pool/spa) associated with a dwelling.
- An open sided deck or verandah associated with an existing dwelling that has a floor area no greater than 20 square meters.
- A rainwater tank associated with an existing dwelling, or the agricultural use of land, provided that the footprint of all rainwater tanks does not exceed 20 square metres.
- A replacement fence of the same materials as an existing fence, in the same location.
- Open type fencing (excluding paling and Colorbond style fencing, brick and concrete walls) and maintenance to existing fencing.
- An agricultural farm building, or structure, with permanent open sides.
- A mast, antenna, power pole or light pole.
- A non-domestic disabled access ramp.
- An outdoor sign/structure, provided that it does not impede floodwater flows.
- Works ancillary to an existing building, including landscaping and pathways that do not alter the existing surface profile by more than 150 mm.
- Works associated with roads, roadsides or any other access way (public or private) that do not alter the existing surface level by more than 150mm.
- Works associated with roads, roadsides or any other access ways carried out by a public authority that have received written consent from the relevant floodplain management authority.

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- Earthworks in accordance with a whole farm plan approved by the responsible authority and relevant floodplain management authority.
- Works associated with dams with less than 3000 cubic metres capacity, where no fill is imported to the site and where no embankment is proposed above natural ground level.
- Works associated with vine or horticultural trellises or watering systems.
- Windmills and solar units in association with the use of land for Agriculture.
- Routine and maintenance works that do not affect the height, length or location of a levee, embankment.
- On non-urban zoned land, earthworks involving the receipt, importation, stockpiling or placement of not more than 100 cubic metres of fill.
- Buildings and works undertaken by Gippsland Ports associated with jetties, boardwalks, landings, beach refurbishment, swing moorings, navigational aids, beacons and signs.
- Buildings and works associated with bicycle pathways and trails undertaken by or on behalf of South Gippsland Shire Council that do not alter the existing surface level by more than 150mm.
- Buildings and works undertaken by or on behalf of Parks Victoria in accordance with a park management plan approved by the floodplain management authority, or where the buildings and works have otherwise received written consent from the relevant floodplain management authority.
- Buildings and works carried out by a Water Corporation to maintain and replace infrastructure related to sewer and water supply.

Note: Replacement dwelling. For the purpose of this schedule a Replacement dwelling is a new dwelling constructed on the same area of land containing an existing dwelling which is to be demolished and replaced by a new dwelling, or a new dwelling to replace on the same area of land a dwelling damaged or destroyed after 1 January 2016.

4.0

Application requirements

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 44.01, in addition to those specified in Clause 44.01, and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority: [to comply with MD]

Unless agreed in writing by the relevant floodplain management authority an application to construct a building or construct or carry out works must be accompanied by four sets of plans, drawn to scale, which show:

- A location plan showing the boundaries and dimensions of the site, surrounding uses and the layout of existing and proposed buildings and works.
- Elevation plans showing natural ground level, finished ground level and the floor levels of any proposed buildings in relation to Australian Height Datum, taken by or under direction of a licensed surveyor.
- A detailed site plan with 0.5m contour intervals showing the layout of existing and proposed buildings and works, watercourses and access roads, taken by or under the direction of a licensed land surveyor.
- Relevant ground levels, to Australian Height Datum, taken by or under the direction or supervision of a licensed land surveyor.
- For inland waterways, the 100 year Average Recurrence Interval flood level (1 in 100 year flood level) from the relevant floodplain management authority. The flood level information must not be greater than six months old.
- Any additional information requested in writing from the floodplain management authority.

Coastal Development

For land below 5 metres AHD, the responsible authority or floodplain management authority may require that a coastal hazard vulnerability assessment, or similar statement, be prepared to accompany the following planning application types:

- *— Subdivision.

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- ~~*—Accommodation (including Dwelling, Residential building, Residential village, Retirement village, Camping and caravan park, Corrective institution, Dependent persons unit, Group accommodation and Host farm).~~

~~This requirement does not apply where the information has been previously published in a regional Local Coastal Hazard Assessment.~~

~~If a report is required, the report must be prepared by a suitably qualified coastal processes engineer and/or coastal processes specialist and prepared in accordance with any approved coastal hazard guidelines to the satisfaction of the responsible authority and floodplain management authority. The assessment is to be prepared in accordance with the background document *Victorian Coastal Hazard Guide* (or superseding document) and must not be more than six months old and contain at least the following information:~~

- ~~*—A location plan drawn to scale, showing the boundaries and dimensions of the site, surrounding uses, the layout of existing and proposed buildings and works and the distance to coast or estuary.~~
- ~~*—Elevation plans taken by or under the direction and supervision of a licensed land surveyor showing natural ground level, finished ground level and the floor levels of any proposed buildings in relation to both AHD and the level as nominated by the relevant floodplain management authority at 2100.~~
- ~~*—A detailed site plan with 0.5 metres contours showing the layout of existing and proposed buildings and works, watercourses, access roads, vegetation and all infrastructure that may be affected by flooding, sea level rise or coastal inundation, taken by or under the direction and supervision of a licensed land surveyor.~~

~~Note: Before commencing preparation of the coastal hazards vulnerability assessment, consultation should occur with the floodplain management authority and the responsible authority to determine what information, additional to that specified above, must be provided to fulfill the requirements of the *Victorian Coastal Hazard Guide*. [NEW, change requested by West Gippsland CMA]~~

Referral of Applications

An application to construct a building or construct or carry out works, or an application to amend a permit, does not require referral to the relevant floodplain management authority if the application satisfies one of the following:

- Is accompanied by the relevant floodplain management authority's written approval, which must:
 - be granted not more than three months prior to lodging with the responsible authority;
 - quote the reference number and date of the approved plans; and
 - states the applicable flood level and any required floor levels.
- Is in accordance with an adopted local floodplain development plan or other agreement between the floodplain management authority and the responsible authority.
- Complies with a building envelope, filling levels and floor levels specified by the relevant floodplain management authority for the subject land in the previous six months.

~~Background documents~~

~~Corner Inlet Dynamic Storm Tide Modelling Assessment —Water Technology June 2014 [Not as per MD format – this background document is listed in 72.08]~~

5.0

Decision guidelines

C121sgjp 25/07/2019

None specified.

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SCHEDULE 1 TO CLAUSE 44.06 BUSHFIRE MANAGEMENT OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **BMO1**.

VENUS BAY, WAKERVILLE BAL-29 AREAS

1.0 Statement of the bushfire management objectives to be achieved

C121sgjp 25/07/2019

To specify bushfire protection measures to construct or extend one dwelling on a lot.

To specify referral requirements for applications to construct or extend one dwelling on a lot.

~~See 44.06-1 for relevant provisions.~~ [MD guidance text only]

2.0 Application

C121sgjp 25/07/2019

The application to construct or extend one dwelling on a lot must include all the requirements set out in this schedule.

Clause 53.02 applies in all other circumstances.

3.0 Permit requirement

C121sgjp 25/07/2019

None specified.

4.0 Application requirements

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 44.06:

- An application must be accompanied by a bushfire management plan that:
 - Shows all of the required bushfire protection measures specified in this schedule,
 - Includes written conditions that implement the required bushfire protection measures,
 - Identifies water supply including the location of any fire hydrant within 120 metres of the rear of the building, and
 - Details vehicle access.

5.0 Requirements to be met

C121sgjp 25/07/2019

The following requirements apply to an application to construct a single dwelling on a lot:

- The dwelling must be constructed to BAL-29
- Defendable space is to be provided for a distance of 30 metres around the dwelling or to the property boundary, whichever is the lesser and maintained in accordance with the vegetation management requirements of Clause 53.02 with the following variation:
 - The canopy of trees must be separated by at least 2 metres.
- A static water supply must be provided in accordance with Clause 53.02, and
- Vehicle access must be provided in accordance with Clause 53.02.

If these requirements are not met, the requirements of Clause 53.02 apply.

6.0 Substitute approved measures for Clause 53.02

C121sgjp 25/07/2019

None specified.

7.0 Additional alternative measures for Clause 53.02

C121sgjp 25/07/2019

None specified.

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8.0 **Mandatory Condition**

[C121sgip](#) 25/07/2019

An application must include the mandatory conditions as specified in Clause 44.06-5.

9.0 **Referral of application not required**

[C121sgip](#) 25/07/2019

An application for a single dwelling on a lot meeting all of the required bushfire protection measures is not required to be referred under Section 55 of the Act to the person or body specified as the referral authority in Clause 66.03.

10.0 **Notice and review**

[C121sgip](#) 25/07/2019

None specified.

11.0 **Decision guidelines**

[C121sgip](#) 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 44.06, in addition to those specified in Clause 44.06 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority: [To comply with MD]

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider whether all of the bushfire protection measures in this schedule have been met.

SCHEDULE 2 TO CLAUSE 44.06 BUSHFIRE MANAGEMENT OVERLAY

C125sgjp 08/09/2022

Shown on the planning scheme map as **BMO2**.**FOSTER, MEENIYAN, MIRBOO NORTH/BAROMI, PORT WELSHPOOL, TARWIN
LOWER, VENUS BAY, WAKERVILLE BAL-12.5 AREAS****1.0 Statement of the bushfire management objectives to be achieved**

C121sgjp 25/07/2019

To specify bushfire protection measures to construct or extend one dwelling on a lot.

To specify referral requirements for applications to construct or extend one dwelling on a lot.

2.0 Application

C121sgjp 25/07/2019

The application to construct or extend one dwelling on a lot must include all the requirements set out in this schedule.

Clause 53.02 applies in all other circumstances.

3.0 Permit requirement

C121sgjp 25/07/2019

None specified.

4.0 Application requirements

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 44.06:

- An application must be accompanied by a bushfire management plan that:
 - Shows all of the required bushfire protection measures specified in this schedule,
 - Includes written conditions that implement the required bushfire protection measures,
 - Identifies water supply including the location of any fire hydrant within 120 metres of the rear of the building, and
 - Details vehicle access.

5.0 Requirements to be met

C121sgjp 25/07/2019

The following requirements apply to an application to construct a single dwelling on a lot:

- The dwelling must be constructed to BAL-12.5
- Defendable space is to be provided for a distance of 30 metres around the dwelling or to the property boundary, whichever is the lesser and maintained in accordance with the vegetation management requirements of Clause 53.02 with the following variation:
 - The canopy of trees must be separated by at least 2 metres.
- A static water supply must be provided in accordance with Clause 53.02, and
- Vehicle access must be provided in accordance with Clause 53.02.

If these requirements are not met, the requirements of Clause 53.02 apply.

6.0 Substitute approved measures for Clause 53.02

C121sgjp 25/07/2019

None specified.

7.0 Additional alternative measures for Clause 53.02

C121sgjp 25/07/2019

None specified.

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8.0 Mandatory Condition

[C121sgip](#) 25/07/2019

An application must include the mandatory conditions as specified in Clause 44.06-5.

9.0 Referral of application not required

[C121sgip](#) 25/07/2019

An application for a single dwelling on a lot meeting all of the required bushfire protection measures is not required to be referred under Section 55 of the Act to the person or body specified as the referral authority in Clause 66.03.

10.0 Notice and review

[C121sgip](#) 25/07/2019

None specified.

11.0 Decision guidelines

[C121sgip](#) 25/07/2019

The following decision guidelines apply to an application for a permit under Clause 44.06, in addition to those specified in Clause 44.06 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority: [to comply with MD]

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider whether all of the bushfire protection measures in this schedule have been met.

SCHEDULE 1 TO CLAUSE 44.07 STATE RESOURCE OVERLAY

VC196 19/08/2021

Shown on the planning scheme map as SRO1.

STRATEGIC EXTRACTIVE RESOURCE AREAS**1.0 Statement of resource significance**

VC196 19/08/2021

Extractive industries in the South Gippsland Shire make a significant contribution to Victoria's total sand production. While existing extractive industries are a large supplier of sand to Melbourne and local areas, there is an opportunity for further extractive industries to be developed in appropriate locations, and for the Shire to make an increased contribution to the state's sand resource supply.

Favourable geological characteristics in South Gippsland Shire have been substantiated by the number of existing extractive industry operations. The area also has manageable environmental and planning constraints, is support by transport networks, and is proximate to demand markets.

It is estimated that extractive resources within South Gippsland Shire can supply approximately 22 per cent of Melbourne's demand for sand over the period 2015-2050. Protecting the future extractive resource capacity of the Shire from incompatible use, development and subdivision is critical for maintaining certainty of supply and meeting Victoria's ongoing demand for sand resources.

This schedule applies to land within the Shire known as Strategic Extractive Resource Areas. These are locations with a state-significant supply of sand resources, and where future investment in extractive industries is encouraged. The schedule ensures that new use, development and subdivision do not inhibit the potential future establishment of extractive industry operations within Strategic Extractive Resources Areas.

2.0 Management objectives

VC196 19/08/2021

To ensure that Strategic Extractive Resource Areas are identified and that extractive industries can occur in locations with good access to resources, transport networks and proximity to markets.

To ensure that land use and development within Strategic Extractive Resources Areas is compatible with the future use of the area for extractive industries.

To ensure that subdivision and land fragmentation do not prejudice current and future extractive industries within the Strategic Extractive Resource Area.

3.0 Use of land

VC196 19/08/2021

A permit is required to use land for:

- Accommodation
- Crematorium
- Education centre
- Funeral parlour
- Hospital
- Leisure and recreation
- Place of assembly
- Retail premises
- Veterinary centre
- Winery

4.0 Subdivision

VC196 19/08/2021

A permit is required to subdivide land.

This does not apply if each lot created by the subdivision is at least 40 hectares.

5.0 **Buildings and works**

VC196 19/08/2021

A permit is required to construct a building or to construct or carry out works. This does not apply to:

- An alteration or extension to an existing building provided the gross floor area of the alteration or extension does not exceed 200 square metres.
- A non-habitable building with a gross floor area not exceeding 200 square metres.
- A building or works associated with the use of land for extractive industry.
- Works with an area not exceeding 200 square metres.
- Works associated with the use of land for agriculture.
- A rainwater tank.

6.0 **Application requirements**

VC196 19/08/2021

None specified.

7.0 **Referral of applications**

VC196 19/08/2021

Kind of application	Referral authority	Type of referral authority
Any use listed in Clause 3.0 of this schedule.	Secretary to the Department administering the <i>Mineral Resources (Sustainable Development) Act 1990</i>	Determining referral authority

8.0 **Exemption from notice and review**

VC210 04/05/2022

An application under any provision of this planning scheme to use or develop land for extractive industry is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 65(1), (2) and (3) and the review rights of section 82(1) of the Act if:

- The land is at least 250 metres from land used for any uses listed in Clause 3.0; and
- The land has access to a road in a Transport Zone 2.

9.0 **Decision guidelines**

VC196 19/08/2021

Before deciding on an application under this overlay, in addition to the decision guidelines in Clause 44.07 and Clause 65, the responsible authority must consider, as appropriate:

- Whether the proposed use or development is compatible with future extractive industry uses in the Strategic Extractive Resource Area.
- Whether existing natural features and topography will mitigate potential impacts of existing or future extractive industry use on the proposed use.
- Whether the proposed use or development is a major capital development which may adversely impact on the future productive extraction of the resource.
- Whether the proposed development is designed and sited in a location that minimises amenity impacts from resource extraction operations and transportation.
- Whether the proposed subdivision will lead to land use outcomes that inhibit the future use of land for extractive industries.

SCHEDULE 2 TO CLAUSE 44.07 STATE RESOURCE OVERLAY

VC196 19/08/2021

Shown on the planning scheme map as **SRO2**.**PROTECTING EXTRACTIVE INDUSTRIES****1.0 Statement of resource significance**

VC196 19/08/2021

Extractive industries in the area west of Nyora make a significant contribution to Victoria's total sand production, supplying a large amount of material to metropolitan Melbourne, peri-urban areas, as well as locally.

The presence of sand resources in the area is substantiated by favourable geological characteristics and by a number of existing extractive industry operations. The area also has manageable environmental and planning constraints, is supported by transport networks, and is proximate to demand markets.

There is an opportunity to increase the area's contribution towards the state's resource needs. It is estimated that extractive resources within South Gippsland Shire can supply approximately 22 per cent of Melbourne's demand for sand and gravel, over the period 2015-2050.

Protecting extractive industries from encroachment by incompatible use and development is critical for maintaining the productivity of existing operations, and for securing the future supply of sand resources to Victoria's markets.

This schedule applies a 250 metre separation distance around land that contains a work authority issued under the *Mineral Resources (Sustainable Development) Act 1990*. This ensures that incompatible use and development do not inhibit the current or future productivity of existing extractive industry operations.

2.0 Management objectives

VC196 19/08/2021

To protect extractive industry operations with a work authority issued under the *Mineral Resource (Sustainable Development) Act 1990* from encroachment by incompatible land use and development.

To ensure that new use and development within 250 metres of an extractive industry do not adversely impact the continued operation or limit the potential future expansion of that industry.

To ensure that development is appropriately designed and sited to minimise amenity impacts from extractive industry operations, including the transport of materials.

To ensure that subdivision and fragmentation of land do not prejudice the operation of an extractive industry.

3.0 Use of land

VC196 19/08/2021

A permit is required to use land for:

- Accommodation
- Crematorium
- Education centre
- Funeral parlour
- Hospital
- Leisure and recreation
- Place of assembly
- Retail premises
- Veterinary centre
- Winery.

4.0 Subdivision

VC196 19/08/2021

A permit is required to subdivide land.

This does not apply if each lot created by the subdivision is at least 40 hectares.

5.0 Buildings and works

VC196 19/08/2021

A permit is required to construct a building or to construct or carry out works. This does not apply to:

- An alteration or extension to an existing building provided the gross floor area of the alteration or extension does not exceed 200 square metres.
- A non-habitable building with a gross floor area not exceeding 200 square metres.
- A building or works associated with the use of land for extractive industry.
- Works with an area not exceeding 200 square metres.
- Works associated with the use of land for agriculture.
- A rainwater tank.

6.0 Application requirements

VC196 19/08/2021

None specified.

7.0 Referral of applications

VC196 19/08/2021

Kind of application	Referral authority	Type of referral authority
Any use listed in Clause 3.0 of this schedule.	Secretary to the Department administering the <i>Mineral Resources (Sustainable Development) Act 1990</i>	Determining referral authority

8.0 Exemption from notice and review

VC196 19/08/2021

None specified.

9.0 Decision guidelines

VC196 19/08/2021

Before deciding on an application under this overlay, in addition to the decision guidelines in Clause 44.07 and Clause 65, the responsible authority must consider, as appropriate:

- Whether the proposed use or development is compatible with the extractive industry use operating on nearby land.
- The potential for the use or development to limit the operation and expansion of the extractive industry.
- Whether existing natural features and topography will mitigate potential impacts of existing or future extractive industry use on the proposed use.
- Whether the proposed use or development is a major capital development which may adversely impact on the future productive extraction of the resource.
- Whether the proposed development is designed and sited in a location that minimises amenity impacts from resource extraction operations and transportation.
- Whether the proposed subdivision will lead to land use outcomes that inhibit the use of land for extractive industries.

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SCHEDULE TO CLAUSE 45.01 PUBLIC ACQUISITION OVERLAY

C121sgjp 25/07/2019

1.0

Public acquisition

C121sgjp 25/07/2019

PS map ref	Acquiring Authority	Purpose of acquisition
PAO1	South Gippsland Shire Council	Road widening and acquisition
PAO2	VicRoads	Roadworks
PAO5	VicRoads	Proposed improvements to and deviation of the South Gippsland Highway between Loch and Jeetho Road
PAO6	VicRoads	Proposed improvements and deviation of the South Gippsland Highway between Jeetho Road and the Korumburra - Bena Road, Bena
PAO7	VicRoads	Proposed improvements to the South Gippsland Highway Toora – Gunyah Road and approximately 1.4 km west of Cargeegs Road
PAO8	VicRoads	Proposed highway improvements to the South Gippsland Highway between Old Meenyan Road and Minns Road.
PAO9	VicRoads	Proposed highway improvements to the South Gippsland Highway between Bena-Korumburra Road and east of Korumburra-Whitelaw Road.
PAO10	VicRoads	Proposed highway improvements to the South Gippsland Highway between Carmichaels Road and McKnights Road.

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SCHEDULE 2 TO CLAUSE 45.02 AIRPORT ENVIRONS OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as **AE02**.

1.0

Requirements

VC159 08/08/2019

An application to use land for the following must be referred to the airport owner under Section 55 of the Act unless, in the opinion of the responsible authority, the proposal satisfies requirements or conditions previously agreed in writing between the responsible authority and the airport owner:

- Accommodation.
- Art and craft centre.
- Bar.
- Display home centre.
- Education centre.
- Hospital.
- Hotel.
- Office.
- Place of assembly.
- Research and development centre.
- Research centre.
- Restricted recreation facility.

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SCHEDULE TO CLAUSE 45.05 RESTRUCTURE OVERLAY

C121sgjp 25/07/2019

1.0

Restructure plan

C090sgjp 20/04/2020

PS map ref	Land	Title of restructure plan
RO1	Land located at Venus Bay on Mercury Drive and Juno Road as depicted in Figure 1 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Juno Road Restructure Plan
RO2	Land located at Venus Bay on Atkinson Avenue as depicted in Figure 2 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Atkinson Avenue Restructure Plan
RO3	Land located at Venus Bay on Black Avenue as depicted in Figure 3 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Black Avenue Restructure Plan
RO4	Land located at Jeetho on Wettenhalls Road and Jeetho Road as depicted in Figure 4 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Wettenhalls Road Restructure Plan
RO5	Land located at Outtrim on Main Street, Rileys Road, Outtrim-Moyarra Road, Lomagnos Road and Hegarty Street as depicted in Figure 5 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Outtrim Restructure Plan
RO6	Land located at Whitelaw on Korumburra-Bena Road as depicted in Figure 6 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Korumburra-Bena Road Restructure Plan
RO7	Land located at Jumbunna on Korumburra-Wonthaggi Road, Cruickshank Road, Tavener Road, Lynn Street, Mcleans Road, Hazel Road Rees Road and Gooches Road as depicted in Figure 7 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Jumbunna Restructure Plan
RO8	Land located at Tarwin on Dowds Road, the South Gippsland Highway and Tarwin Lower Road as depicted in Figure 8 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Dowds Road Restructure Plan
RO9	Land located at Meeniyah West on McIlwaine Street and the South Gippsland Highway as depicted in Figure 9 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	McIlwaine Street Restructure Plan
RO10	Land located at Newcastle on Scott and Faheys Road and the South Gippsland Highway as depicted in Figure 10 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Newcastle Restructure Plan
RO11	Land located at Hoddle on Lowrys Road and Fish Creek-Foster Road as depicted in Figure 11 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Lowrys Road Restructure Plan
RO12	Land located at Bennison on Durston Road and Port Franklin Road as depicted in Figure 12 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Durston Road Restructure Plan

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RO13	Land located at Port Franklin on Port Franklin Road as depicted in Figure 13 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Port Franklin Road Restructure Plan
RO14	Land located at Hedley on Salmon Road and the South Gippsland Highway as depicted in Figure 14 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Salmon Road Restructure Plan
RO15	Applies to a number of properties located south of Toora as depicted in Figure 15 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Toora Coastal Restructure Plan
RO16	Land located at Buffalo on McPhee Road and off Hall Road as depicted in Figure 16 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Buffalo Restructure Plan
RO17	Land located at Darlimurla on the north side of Cornell Road and off Cornell Road as depicted in Figure 17 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Cornell Road Restructure Plan
RO18	Land located at Hedley on the south east side of the intersection of Todds Road and the South Gippsland Highway as depicted in Figure 18 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Todds Road Restructure Plan
RO19	Land located at Port Welshpool, south of Telegraph Road and generally east of Port Welshpool Road as depicted in Figure 19 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Port Welshpool Restructure Plan
RO20	Land located at Stony Creek on the west side of Jacks Road and Stony Creek Road as depicted in Figure 20 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Jacks Road Restructure Plan
RO21	Land located at Dollar south of Dollar Hall Road and west of Foster-Mirboo Road as depicted in Figure 21 in the Incorporated Document <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire, August 2017</i>	Dollar Hall Road Restructure Plan

SCHEDULE 1 TO CLAUSE 45.09 PARKING OVERLAY

C121sgjp 25/07/2019

Shown on the planning scheme map as PO1.

LEONGATHA CENTRAL BUSINESS DISTRICT**1.0 Parking objectives to be achieved**

C121sgjp 25/07/2019

- To identify appropriate car parking rates for land uses within the Leongatha Central Business District (CBD).
- To provide for the equitable collection and distribution of financial contributions to contribute towards the construction of shared car parking facilities, but only when a reduction in car parking under Clause 52.06-3 is considered appropriate.
- To ensure an appropriate level of parking is provided in the CBD.
- To ensure that parking supply is efficiently utilised and best services the land uses.
- To achieve an appropriate balance between the supply and demand of car parking spaces while allowing new and intensified use.

2.0 Permit requirement

C121sgjp 25/07/2019

Any applications to reduce the car parking requirement must include a Car Parking Demand Assessment as set out in Clause 52.06 and which addresses the decision guidelines below to the satisfaction of the responsible authority.

3.0 Number of car parking spaces required

C121sgjp 25/07/2019

For all uses listed in Table 1 of Clause 52.06-5, the number of car parking spaces required for a use is calculated using the *Rate* in Column B of that Table.

4.0 Application requirements and decision guidelines for permit applications

C121sgjp 25/07/2019

The following application requirements apply to an application for a permit under Clause 45.09, in addition to those specified in Clause 45.09 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- Any applications to reduce the car parking requirement must include a detailed statement addressing the decision guidelines to the satisfaction of the responsible authority.

The following decision guidelines apply to an application for a permit under Clause 45.09, in addition to those specified in Clause 45.09 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority. ~~In addition to the decision guidelines in Clause 52.06, the responsible authority must consider, as appropriate:~~ [to comply with MD]

- Availability of off-site parking spaces available to the public and within safe and convenient walking distance to the site.
- The use or mix of uses in the building and on the land.
- Potential for shared parking.
- After hours use of the building or site.

5.0 Financial contribution requirement

C121sgjp 25/07/2019

It is within the responsible authority's absolute discretion whether to accept a financial contribution in accordance with this Schedule (and if so, in respect of how many spaces).

If a permit is granted pursuant to Clause 52.06-3 to reduce or waive the requirement for car parking, the responsible authority must include a condition requiring payment-in-lieu of providing physical car parking spaces, unless satisfied that such payment is not warranted having regard to the circumstances.

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The payment-in-lieu contribution is as per Table 1. This amount is to be increased annually from 1st July 2012, by applying the ABS 6427.0 Producer Price Index Number 3101 Road and Bridge Construction Victoria contained within the Construction Industry Output Price Indexes, or superseding index to the satisfaction of the Responsible Authority.

The amounts specified in Table 1 are before application of indexation specified in this clause and are GST exclusive. These are calculated as follows:

- \$4,800 for each car space from the fifth to the eighth space (inclusive) in-lieu;
- \$7,200 for each car space from the ninth to the twentieth space (inclusive) in-lieu;
- \$9,600 per car space from the twenty-first space (inclusive) or above in-lieu;

Table 1: Payment in lieu amounts

Number of car spaces not provided	Payment in lieu Contribution (G.S.T. exclusive and before indexation)
1	\$0
2	\$0
3	\$0
4	\$0
5	\$4,800
6	\$9,600
7	\$14,400
8	\$19,200
9	\$26,400
10	\$33,600
11	\$40,800
12	\$48,000
13	\$55,200
14	\$62,400
15	\$69,600
16	\$76,800
17	\$84,000
18	\$91,200
19	\$98,400
20	\$105,600
21 (or above)	\$115,200 (+\$9,600 for each additional space not provided)

Council may enter into an agreement with the owner of the land under Section 173 of the Planning and Environment Act 1987 for the payment of the contribution in instalments. The agreement may provide for the payment of the contribution in instalments, plus an interest component equivalent to the interest payable on unpaid rates and charges under the Local Government Act 1989 and it must provide that all instalments and accrued interest are paid within 5 years of the first instalment. The agreement must also provide for the owner to pay Council's costs of preparing, registering and then upon its ending, removing the agreement from title.

The provisions of this clause will be reviewed no later than five years from the date of gazettal of Amendment C85.

Financial contributions will be used to construct a public car park for the Leongatha town centre area.

6.0 **Requirements for a car parking plan**

[C121sgjp](#) 25/07/2019

None specified.

7.0 **Design standards for car parking**

[C121sgjp](#) 25/07/2019

In addition to the design standards set out in Clause 52.06-9, plans prepared in accordance with Clause 52.06-8 must meet the following design standards unless agreed by the responsible authority in writing:

- Vehicular access to parking and service areas must be designed to minimise disruption to pedestrian movements and minimise their visual impact on architectural and streetscape qualities.
- Open lot car parks are discouraged on all principal frontages
- A car park should be designed to retain significant trees and promote tree planting and the shading of car spaces.

8.0 **Decision guidelines for car parking plans**

[C121sgjp](#) 25/07/2019

The following decision guidelines apply to car parking plans under Clause 45.09, in addition to those specified in Clause 45.09 and elsewhere in the scheme which must be considered, as appropriate, by the satisfaction of the responsible authority.
~~In addition to the decision guidelines in Clause 52.06, the responsible authority must consider, as appropriate:~~ [to comply with MD]

- Availability of off-site parking spaces available to the public and within safe and convenient walking distance to the site.
- The use or mix of uses in the building and on the land.
- Potential for shared parking.
- After hours use of the building or site.

9.0 **Background document**

[C121sgjp](#) 25/07/2019

Leongatha CBD Parking Strategy, 2013 (as amended).

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SCHEDULE TO CLAUSE 51.01 SPECIFIC SITES AND EXCLUSIONS

VC148 31/07/2018

1.0**Specific sites and exclusions**

C090sgjp 20/04/2020

Address of land	Title of incorporated document
Tidal River, Wilson Promontory Old and inappropriate subdivisions at 21 locations within South Gippsland Shire	<i>Wilsons Promontory Cruises Facility</i> (April 2017) <i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire</i> (August 2019)

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SCHEDULE TO CLAUSE 52.02 EASEMENTS, RESTRICTIONS AND RESERVES

C121sgjp 25/07/2019

1.0 Under Section 23 of the Subdivision Act 1988

C82 27/02/2014

Land	Easement or restriction	Requirement
Crown Allot. 1 Sec. 30 Township of Leongatha Crown Allot. 2 Sec. 30 Township of Leongatha Crown Allot. 3 Sec. 30 Township of Leongatha Crown Allot. 3A Sec. 30 Township of Leongatha Crown Allot. 4 Sec. 30 Township of Leongatha Crown Allot. 5 Sec. 30 Township of Leongatha Crown Allot. 6 Sec. 30 Township of Leongatha	E-1 Pipeline in favour of South Gippsland Water	Vary the easement
Lot 2 PS416217F	Covenant U899156A	Removal of restriction

2.0 Under Section 24A of the Subdivision Act 1988

VC37 19/01/2006

Land	Person	Action
None specified		

3.0 Under Section 36 of the Subdivision Act 1988

VC37 19/01/2006

Land	Easement or right of way	Requirement
None specified		

SCHEDULE TO CLAUSE 52.05 SIGNS

C121sgjp 25/07/2019

1.0 Exemption from notice and review

C121sgjp 25/07/2019

Land	Condition
None specified	

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SCHEDULE TO CLAUSE 52.16 NATIVE VEGETATION PRECINCT PLAN

C121sgjp 25/07/2019

1.0 Native vegetation precinct plan

VC49 15/09/2008

Name of plan
None specified

SCHEDULE TO CLAUSE 52.17 NATIVE VEGETATION

C121sgjp 25/07/2019

1.0 Scheduled area

C121sgjp 25/07/2019

Area	Description of native vegetation for which no permit is required to remove, destroy or lop
Murray Goulburn factory 1 Yarragon Road, Leongatha Crown Allot. 1 Sec. 30 Township of Leongatha; Crown Allot. 2 Sec. 30 Township of Leongatha; Crown Allot. 3 Sec. 30 Township of Leongatha; Crown Allot. 3A Sec. 30 Township of Leongatha; Crown Allot. 4 Sec. 30 Township of Leongatha; Crown Allot. 5 Sec. 30 Township of Leongatha; Crown Allot. 6 Sec. 30 Township of Leongatha.	Eucalyptus Strzelecki (Strzelecki Gum)
Land associated with the construction of the South Gippsland Highway realignment between Bates Avenue and east of Ritchie's Reserve, Korumburra, as shown on Map 1 (Vegetation Removal Exemption Plan) of this schedule.	All native vegetation

2.0 Scheduled weed

C121sgjp 25/07/2019

Area	Description of weed
None specified.	

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SCHEDULE TO CLAUSE 52.27 LICENSED PREMISES

[C121sgip](#) 25/07/2019

1.0 Permit not required

[VC37](#) 19/01/2006

Land	Type of licence
None specified	

2.0 Permit may not be granted

[VC37](#) 19/01/2006

Land	Type of licence
None specified	

SCHEDULE TO CLAUSE 52.28 GAMING

[C121sgip](#) 25/07/2019

1.0 Objectives

[GC149](#) 01/10/2019

None specified.

2.0 Prohibition of a gaming machine in a shopping complex

[GC149](#) 01/10/2019

Installation or use of a gaming machine as specified in Clause 52.28-4 is prohibited on land described in Table 1 below.

Table 1	
Name of shopping complex and locality	Land description
None specified	None specified

3.0 Prohibition of a gaming machine in a strip shopping centre

[GC149](#) 01/10/2019

A gaming machine as specified in Clause 52.28-5 is prohibited in all strip shopping centres on land covered by this planning scheme.

4.0 Locations for gaming machines

[C121sgip](#) 25/07/2019

None specified.

5.0 Venues for gaming machines

[C121sgip](#) 25/07/2019

None specified.

6.0 Application requirements

[GC149](#) 01/10/2019

None specified.

7.0 Decision guidelines

[GC149](#) 01/10/2019

None specified.

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SCHEDULE TO CLAUSE 52.32 WIND ENERGY FACILITY

VC148 31/07/2018

1.0 Wind energy facility prohibition

VC148 31/07/2018

Land where a Wind energy facility is prohibited

All land within five kilometres of the high water mark of the coast west of Wilson's Promontory.

SCHEDULE TO CLAUSE 52.33 POST BOXES AND DRY STONE WALLS

VC148 31/07/2018

1.0 Permit requirement for dry stone walls

VC148 31/07/2018

Land

None specified

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SCHEDULE TO CLAUSE 53.01 PUBLIC OPEN SPACE CONTRIBUTION AND SUBDIVISION

VC148 31/07/2018

1.0 Subdivision and public open space contribution

VC148 31/07/2018

Type or location of subdivision	Amount of contribution for public open space
All residential, commercial or industrial land	A minimum of 5%
Any subdivision that does not qualify for exemption under cl 53.01	A minimum of 5%

SCHEDULE TO CLAUSE 53.06 LIVE MUSIC ENTERTAINMENT VENUES

GC175 18/02/2021

1.0 Areas to which Clause 53.06 does apply

VC210 04/05/2022

Name of area	Description
None specified	

2.0 Areas to which Clause 53.06 does not apply

VC210 04/05/2022

Name of area	Description
None specified	

3.0 Other venues to which Clause 53.06 applies

VC210 04/05/2022

Name of venue	Address	Condition or limitation
None specified		

SCHEDULE TO CLAUSE 53.15 STATEMENT OF UNDERLYING PROVISIONS

VC148 31/07/2018

1.0 Incorporated statement

C121sgip 25/07/2019

Land	Incorporated Document
None specified	

SCHEDULE TO CLAUSE 59.15 LOCAL VICSMART APPLICATIONS

VC148 31/07/2018

1.0 Table 1 Classes of local VicSmart application under zone provisions

VC148 31/07/2018

Name of zone or class of zone	Class of application	Permit requirement provision	Information requirements and decision guidelines
None specified			

2.0 Table 2 Classes of local VicSmart application under overlay provisions

VC148 31/07/2018

Name of overlay or class of overlay	Class of application	Permit requirement provision	Information requirements and decision guidelines
None specified			

3.0 Table 3 Classes of local VicSmart application under particular provisions

C121sgjp 25/07/2019

Name of particular provision	Class of application	Permit requirement provision	Information requirements and decision guidelines
None specified			

SCHEDULE 1 TO CLAUSE 59.16 INFORMATION REQUIREMENTS AND DECISION GUIDELINES FOR LOCAL VICSMART APPLICATIONS

C121sgjp 25/07/2019

1.0 Information requirements

VC148 31/07/2018

None specified

2.0 Decision guidelines

VC148 31/07/2018

None specified

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SCHEDULE TO CLAUSE 66.04 REFERRAL OF PERMIT APPLICATIONS UNDER LOCAL PROVISIONS

C121sgip 25/07/2019

1.0

Referral of permit applications under local provisions

VC196 19/08/2021

Clause	Kind of application	Referral authority	Referral authority type
On land identified as the Gippsland Coalfields Policy Area in the Local Planning Policy Framework	To subdivide land. To use land or to construct a building or construct or carry out works for a cemetery, educational centre, exhibition centre, function centre, golf course, hospital, industry (other than rural industry), major sports and recreational facility, shop or office with a gross floor area exceeding 2000 square metres, or accommodation if the total number of people to be accommodated exceeds 100 or the proposed development results in an increase of greater than 25 percent to the gross floor area of an existing accommodation building.	Secretary to the Department administering the <i>Mineral Resources (Sustainable Development) Act 1990</i> Secretary to the Department administering the <i>Mineral Resources (Sustainable Development) Act 1990</i>	Determining referral authority Determining referral authority
Clause 5.0 of Schedule 1 to Clause 42.01 (ESO)	All applications	Department of Environment, Land, Water & Planning	Recommending referral authority [DEWLP requested change]
Clause 5.0 of Schedule 1 to Clause 42.01 (ESO)	Applications which may adversely affect on flooding	West Gippsland Catchment Management Authority	Recommending referral authority [DEWLP requested change]
Clause 3.0 of Schedule 3 to Clause 42.01 (ESO)	An application for development on Coastal Crown Land, as defined under the <i>Coastal Management Act, 1995</i>	The Secretary administering the <i>Coastal Management Act, 1995</i>	Determining referral authority
Clause 5.0 of Schedule 3 to Clause 42.01 (ESO)	All applications	Department of Environment, Land, Water & Planning	Recommending referral authority [DEWLP requested change]
Clause 5.0 of Schedule 5 to Clause 42.01 (ESO)	All applications	Department of Environment, Land, Water & Planning	Recommending referral authority [DEWLP requested change]

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Clause 5.0 of Schedule 7 to Clause 42.01 (ESO)	All applications	Department of Environment, Land, Water & Planning	Recommending referral authority [DEWLP requested change]
Schedule 2 to Clause 45.02 (AEO)	An application to use land under the schedule	Airport owner	Determining referral authority
Clause 3.0 of Schedules 8, 9, 10 & 11 to Clause 43.02 (DDO)	An application for buildings or works specified in the schedules to the DDO's. This requirement can be set-aside subject to an application satisfying conditions or requirements previously agreed in writing between the responsible authority and the Secretary to the Department of Health and Human Services.	Secretary to the Department of Health and Human Services	Determining referral authority
Schedule 9 to Clause 42.01 (ESO)	An application for any development.	Department of Environment, Land, Water & Planning	Determining referral authority
Schedule 8 to Clause 42.01 (ESO)	An application to construct a building, or construct or carry out works, or subdivide land	Environment Protection Authority	Recommending referral authority
Schedule 2 to Clause 42.01 (ESO)	An application for any development except for an application for a sign, fence, roadworks or unenclosed building or works ancillary to a dwelling, <u>unless in the opinion of the responsible authority the proposal satisfies requirements or conditions previously agreed in writing between the responsible authority and the water board or water supply authority.</u> [ESO2] [to ensure the condition as specified in the Schedule is reflected at 66.04]	South Gippsland Water Corporation	Determining referral authority
Schedule 2 to Clause 42.01 (ESO)	All applications within the Mirboo North Catchment	Central Gippsland Region Water Corporation	Determining referral authority [Requested by Gippsland Water]
Schedule 1 to Clause 44.07 (SRO)	An application for any use listed in Clause 3.0 of the schedule.	Secretary to the Department administering the <i>Mineral Resources (Sustainable Development) Act 1990</i> .	Determining referral authority
Schedule 2 to Clause 44.07 (SRO)	An application for any use listed in Clause 3.0 of the schedule.	Secretary to the Department administering the <i>Mineral Resources (Sustainable Development) Act 1990</i> .	Determining referral authority

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SCHEDULE TO CLAUSE 66.06 NOTICE OF PERMIT APPLICATIONS UNDER LOCAL PROVISIONS

[C121sgjp](#) 25/07/2019

1.0

Notice of permit applications under local provisions

[C121sgjp](#) 25/07/2019

Clause	Kind of application	Person or body to be notified
None specified.	None specified.	None specified.

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SCHEDULE TO CLAUSE 72.01 RESPONSIBLE AUTHORITY FOR THIS PLANNING SCHEME

VC148 31/07/2018

1.0 Responsible authority for administering and enforcing this planning scheme:

VC148 31/07/2018

The South Gippsland Shire Council is the responsible authority for administering and enforcing the planning scheme, except for matters specified in Clause 72.01-1 and matters listed in this schedule.

2.0 Responsible authority for administering and enforcing a provision of this planning scheme:

VC148 31/07/2018

None specified.

3.0 Person or responsible authority for issuing planning certificates:

VC148 31/07/2018

The Minister for Planning.

4.0 Responsible authority for VicSmart and other specified applications:

VC179 06/05/2020

The Chief Executive Officer of South Gippsland Shire Council is the responsible authority for considering and determining VicSmart applications to which Clause 71.06 applies, in accordance with Divisions 1, 1A, 2 and 3 of Part 4 of the Act.

The Chief Executive Officer of South Gippsland Shire Council is the responsible authority for considering and determining any application that the notice and review exemption in Clause 52.10-2 applies to, in accordance with Divisions 1, 1A, 2 and 3 of Part 4 of the Act.

SCHEDULE TO CLAUSE 72.02 WHAT AREA IS COVERED BY THIS PLANNING SCHEME?

VC148 31/07/2018

1.0 Area covered by this planning scheme:

VC148 31/07/2018

The Municipal District of South Gippsland Shire Council.

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SCHEDULE TO CLAUSE 72.03 WHAT DOES THIS PLANNING SCHEME CONSIST OF?

VC148 31/07/2018

1.0 Maps comprising part of this planning scheme:

VC196 19/08/2021

- 1, 1ESO5, 1ESO9, 1DPO, 1HO, 1LSIO, 1BMO, 1SRO, 1RXO, 1RO
- 2, 2ESO9, 2HO, 2DDO, 2DPO, 2RXO, 2BMO
- 3, 3ESO5, 3ESO9, 3HO, 3LSIO, 3EAO, 3RXO, 3BMO
- 4, 4ESO5, 4ESO9, 4HO, 4LSIO, 4BMO
- 5, 5ESO5, 5ESO9, 5HO
- 6, 6ESO2, 6ESO5, 6ESO9, 6HO, 6LSIO, 6BMO
- 7, 7EMO, 7ESO1, 7ESO2, 7ESO5, 7ESO9, 7LSIO, 7HO, 7BMO, 7PAO
- 8, 8ESO1, 8ESO2, 8ESO4, 8ESO5, 8BMO, 8RO
- 9, 9EMO, 9ESO1, 9ESO2, 9ESO4, 9ESO5, 9HO, 9DDO, 9DPO, 9BMO, 9PAO, 9EAO
- 10, 10DPO, 10ESO2, 10ESO4, 10ESO5, 10ESO9, 10LSIO, 10BMO, 10PAO, 10RXO, 10RO
- 11, 11ESO5, 11ESO9, 11HO, 11RXO, 11RO
- 12, 12ESO5, 12ESO9, 12HO, 12LSIO, 12BMO
- 13, 13AEO, 13ESO2, 13ESO5, 13ESO9, 13HO, 13LSIO, 13BMO, 13PAO, 13RXO, 13RO
- 14, 14ESO2, 14ESO5, 14ESO8, 14ESO9, 14HO, 14DDO, 14DPO, 14PAO, 14RXO, 14BMO, 14RO
- 15, 15ESO2, 15ESO5, 15ESO9, 15HO
- 16, 16DDO, 16DPO, 16EAO, 16ESO2, 16ESO4, 16ESO5, 16HO, 16LSIO, 16PAO, 16PO
- 17, 17ESO2, 17ESO5, 17LSIO, 17PAO, 17BMO
- 18, 18EMO, 18ESO1, 18ESO2, 18ESO4, 18ESO5, 18HO, 18LSIO, 18BMO, 18PAO, 18RO
- 19, 19ESO2, 19ESO5,
- 20, 20ESO2, 20ESO5, 20HO, 20LSIO, 20PAO, 20BMO
- 21, 21ESO1, 21ESO2, 21ESO5, 21HO, 21LSIO, 21BMO, 21RO
- 22, 22DDO, 22ESO3, 22ESO7, 22LSIO, 22SLO, 22BMO
- 23, 23DDO, 23ESO2, 23ESO3, 23ESO5, 23ESO7, 23LSIO, 23SLO, 23BMO
- 24, 24DDO, 24ESO3, 24ESO7, 24LSIO, 24RO, 23SLO, 24BMO
- 25, 25DDO, 25ESO7, 25LSIO, 25HO, 25BMO
- 26, 26ESO1, 26ESO2, 26ESO3, 26ESO5, 26HO, 26LSIO, 26PAO, 26SLO, 26BMO, 26RO
- 27, 27ESO5, 27HO, 27LSIO
- 28, 28DDO, 28EMO, 28ESO1, 28ESO2, 28ESO3, 28ESO4, 28ESO5, 28HO, 28LSIO, 28PAO, 28SLO, 28BMO, 28RO
- 29, 29DDO, 29ESO3, 29ESO4, 29ESO5, 29HO, 29PAO, 29RXO, 29SLO, 29BMO
- 30, 30ESO3, 30ESO4, 30ESO5, 30HO, 30LSIO, 30PAO, 30SLO, 30RO
- 31, 31ESO1, 31ESO2, 31ESO3, 31ESO4, 31ESO5, 31HO, 31LSIO, 31RXO, 31SLO, 31BMO, 31RO
- 32, 32ESO5, 32HO, 32SLO, 32BMO
- 33, 33ESO3, 33HO, 33LSIO, 33SLO, 33BMO, 33RO
- 34, 34ESO3, 34ESO5, 34SLO, 34BMO
- 35, 35ESO3, 35ESO4, 35ESO5, 35HO, 35LSIO, 35SLO, 35BMO
- 36, 36ESO3, 36ESO5, 36SLO, 36BMO
- 37, 37DDO, 37DPO, 37ESO1, 37ESO3, 37ESO5, 37ESO7, 37LSIO, 37SLO, 37BMO
- 38, 38DDO, 38ESO3, 38ESO5, 38ESO7, 38LSIO, 38SLO, 38BMO

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- 39, 39ESO3, 39HO, 39LSIO, 39SLO, 39BMO

SCHEDULE TO CLAUSE 72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME

VC148 31/07/2018

1.0

Incorporated documents

C126sgip 11/03/2022

Name of document	Introduced by:
<i>Australian Standard AS2021-2015, Acoustics – Aircraft Noise Intrusion – Building Siting and Construction</i> (Standards Australia Limited, 2015)	VC107
<i>Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire</i> (August 2019)	C090sgip
<i>SPI Electricity Pty Ltd Leongatha Depot 2013</i> (July 2013)	C84
<i>Wilsons Promontory Cruises Facility</i> (April 2017)	C113
<i>Statement of Significance, "Aroyn"</i> (July 2021)	C126

SCHEDULE TO CLAUSE 72.05 WHEN DID THIS PLANNING SCHEME BEGIN?

VC148 31/07/2018

1.0

Date this planning scheme began:

VC148 31/07/2018

16 December 1999

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SCHEDULE TO CLAUSE 72.08 BACKGROUND DOCUMENTS

C121sgjp 25/07/2019

1.0

Background documents

C125sgjp 08/09/2022

Name of background document	Amendment number - clause reference
Coastal Spaces Landscape Assessment Study (Planisphere, December 2006)	Clause 42.03s1 Clause 42.03s2 Clause 42.03s3
Corner Inlet Dynamic Storm Tide Modelling Assessment (Water Technology June 2014)	C81 Clause 44.04
Domestic Wastewater Management Plan 2016-2020 (South Gippsland Shire Council, 2016)	Clause 42.01s2
Economic Development and Tourism Strategy 2015-2020 (SGSC, 2015)	Clause 17.04-1L
<i>Giant Gippsland Earthworm Environmental Significance Overlay Reference Document (September 2015) [ESO9]</i> [cannot include background document in local schedule]	Clause 42.01s9
Gippsland Regional Waste Management Plan (Gippsland Regional Waste Management Group, 1999)	Clause 19.03-5L
Healthy by Design: A Guide to Planning Environments for Active Living in Victoria, Melbourne (National Heart Foundation of Australia - (Victorian Division), 2012)	Clause 43.04s6 Clause 43.04s7
Infrastructure Design Manual (Local Government Infrastructure Design Association, 2020)	Clauses 19.03-2L and 19.03-5L
Korumburra Structure Plan (South Gippsland Shire Council, 2014)	Clause 43.04s6
Korumburra Town Centre Car Parking Strategy (GTA Consultants, 2013)	Clause 11.01-1L Korumburra Town Centre
Korumburra Milk Processing Plant Buffer Assessment (GHD, 2013)	C99 Clause 42.01s8
Korumburra Town Centre Framework Plan (Hansen Partnership, 2013)	Clause 11.01-1L Korumburra
Landscaping for Bushfire (CFA, 2011)	Clause 43.02s & 43.02s13
Leongatha Industrial Land Supply Strategy (Meinhardt, 2013)	Clause 15.01-2L
Leongatha Structure Plan (South Gippsland Shire Council, 2008)	
Mirboo North Structure Plan (South Gippsland Shire Council, 2017)	Clause 11.01-1L Mirboo North

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Nyora Structure Plan (South Gippsland Shire Council, 2017)	Clause 43.04 Schedule 10
Regional Sand Extraction Strategy: Lang Lang to Grantville (Department of Infrastructure, 1996)	Clause 02.03-4
Siting and Design Guidelines for Structures on the Victorian Coast (Victorian Coastal Council, 1998)	Clause 42.03s1 Clause 42.03s2 Clause 42.03s3
South Gippsland Heritage Study (David Helms, 2004)	Clause 15.02-1L
South Gippsland Housing and Settlement Strategy (Planisphere, 2013)	Clause 02.03-1 Settlement
South Gippsland Municipal Public Health and Wellbeing Plan (SGSC, 2013)	Clause 19.02-1L
South Gippsland Open Space Strategy 2007 (South Gippsland Shire Council, 2007)	Clause 43.04s6 Clause 43.04s7
South Gippsland Paths and Trails Strategy 2010 (South Gippsland Shire Council, 2010)	Clause 43.04s6 Clause 43.04s7
South Gippsland Rural Land Use Strategy (South Gippsland Shire Council, 2011)	Clause 14.01-1L, Clause 17.04-1L
South Gippsland Shire Council Plan 2020-2024 (South Gippsland Shire Council, 2020)	Clause 02
Urban Design Framework: Settlement Background Paper, Sandy Point (Connell Wagner, 2006)	Clause 43.02s3
Urban Design Framework: Settlement Background Paper, Tarwin Lower (Connell Wagner, 2006)	Clause 43.02s6
Urban Design Framework: Settlement Background Paper, Venus Bay (Connell Wagner, 2006)	Clause 43.02s5
Urban Design Framework: Settlement Background Paper, Waratah Bay (Connell Wagner, 2006)	Clause 43.02s4
Urban Stormwater Best Practice Environmental Management Guidelines (CSIRO, 1999)	Clause 43.04s5
Venus Bay Tourism Precinct Plan (June, 2020)	Clause 11.01-1L-09 Venus Bay
Victorian Coastal Hazard Guide (Department of Sustainability and Environment, 2012)	Clause 44.04
West Gippsland Native Vegetation Plan 2003 (Department of Natural Resources and Environment, 2003)	Clause 43.04s6 Clause 43.04s7
Your Dam, an Asset or a Liability (Department of Conservation and Natural Resources, 1993)	Clause 42.01s5

SCHEDULE TO CLAUSE 74.01 APPLICATION OF ZONES, OVERLAYS AND PROVISIONS

C127sgjp 03/03/2022

1.0 Application of zones, overlays and provisions

C127sgjp 03/03/2022

This planning scheme applies the following zones, overlays and provisions to implement the Municipal Planning Strategy and the objectives and strategies in Clauses 11 to 19:

Zones

- General Residential Zone to the existing serviced residential areas and small additional areas to ensure that there is sufficient residential land (i.e. at least a 15 year supply), particularly around the larger towns in accordance with the settlement framework plans and structure plans.
- Township Zone in smaller settlements where land use flexibility is desirable and projected growth is limited.
- Low Density Residential Zone and Rural Living Zone to the existing and serviced low density residential and rural living areas to consolidate development and limit urban growth into rural areas.
- Mixed Use Zone to areas on the periphery of the commercial centres of Leongatha and Korumburra to encourage residential opportunities close to town centres.
- Commercial 1 Zone to the existing commercial areas of the major towns to concentrate office, retail and other commercial activities within the existing commercial centres.
- Township Zone to the existing commercial areas of the small towns to concentrate commercial and retail activities within and adjacent to the existing town centres.
- Farming Zone to areas outside the towns to protect land for primary production and to facilitate diversity in agricultural land uses.
- Rural Activity Zone to areas relatively close to settlements where tourism use and development can be associated and/or compatible with agricultural production and environmental values.
- Rural Conservation Zone to Estate 3 at Venus Bay to protect and enhance the area's environmental values.
- Industrial 1 and 3 Zones to existing and serviced industrial areas to accommodate existing and future industrial development.
- Road Zones – Category 1 and Category 2 according to the function of the road.
- Public Use Zone 6 – Local Government to municipal transfer stations and landfills.

Overlays

- Environmental Significance Overlay – Areas of Natural Significance to areas comprising significant flora and fauna.
- Environmental Significance Overlay – Giant Gippsland Earthworm and Habitat Protection to areas comprising suitable habitat and earthworms.
- Environmental Significance Overlay- Water Catchments to catchments used for provision of potable water supplies.
- Environmental Significance Overlay – Areas Susceptible to Erosion to protect land subject to erosion.
- Environmental Significance Overlay – Coastal Areas to the coastal areas to ensure that development is sensitive to the environmental values of the area.
- Design and Development Overlay to guide the future character of the Mirboo North town centre as the town changes.
- Restructure Overlay including Restructure Plans and the Incorporated Document Restructure Plans for Old and Inappropriate Subdivisions in South Gippsland Shire (August 2019).

Provisions

- A development contributions policy to guide infrastructure provision.

SOUTH GIPPSLAND PLANNING SCHEME
DOWNLOADED 13/10/2022

SCHEDULE TO CLAUSE 74.02 FURTHER STRATEGIC WORK

C127sgjp 03/03/2022

1.0

Further strategic work

C127sgjp 03/03/2022

Identify land where further restructure investigation is required.

Identify further heritage places, precincts and features that exist in the Shire to those that are currently identified.

Investigate application of a Special Use Zone in the *Bulky Goods Retail Area* identified on the *Leongatha Framework Plan*.

Investigate application of a Special Use Zone in the Highway Frontage Commercial Area identified on the *Leongatha Framework Plan*.

Investigate the application of the General Residential Zone or the Neighbourhood Residential Zone in the Urban Expansion Areas identified on the *Leongatha Framework Plan*.

Investigate the application of the Rural Activity Zone.

Prepare and implement master plans for the commercial town centres of Venus Bay, Waratah Bay, Sandy Point and Tarwin Lower.

Review the residential development growth options in the Mirboo North Structure Plan Refresh to provide increased certainty around future land releases.

Investigate the development of a master plan to improve the layout and function of the town centre in Mirboo North.

Investigate the application of a planning scheme overlay to protect native vegetation within the Mirboo North township boundaries.

Investigate the application of a planning scheme overlay to protect and enhance the built and landscape character of residential land in Mirboo North.

Identify opportunities to enhance and expand native flora and fauna habitat.

Investigate the application of the Neighbourhood Residential Zone as a preferred residential zoning for land currently identified as General Residential Zone.

Investigate the preparation of a 'Strzelecki-Alpine Biolink' local policy to improve native animal ~~habitat~~ ~~habitat~~ ~~corridores~~ ~~corridors~~ between Wilsons Promontory and the Alpine region.

Identify strategic planning policy documents adopted by Council which should be included as 'Background documents' in the planning scheme and review existing identified Background documents.

Prepare a coastal areas land use and development strategy to guide long term planning in environmentally dynamic townships.

Investigate the preparation of a development contributions scheme.

Review the application of the Parking Overlay and the payment schedule.

Investigate the rezoning of the Farming Zone land at Burrows Way Tarwin Lower.

Investigate the zoning of the Township Zone land south of Fairbank Road Arawata.

Investigate the application of the Road Zone adjoining Kardella township.

Undertake and implement a Shire-wide industrial land supply assessment. [SGCP, p34] [to implement adopted Council policy]

Prepare a development plan (including developer contributions) for the South Western precinct of Nyora, as part of the Nyora Development Strategy. [SGCP, p34] [to implement adopted Council policy]

Prepare a Coastal Strategy to inform any future Planning Scheme provisions that will seek to guide sustainable land use and development in South Gippsland Shire's coastal townships and communities. [SGCP, p34] [to implement adopted Council policy]

Prepare and implement new planning scheme guidelines that seek to protect the character of coastal townships [SGIPER, p29] [to implement adopted Council policy]

Implement the Industrial Land Supply Study. [SGIPER, p29] [to implement adopted Council policy]