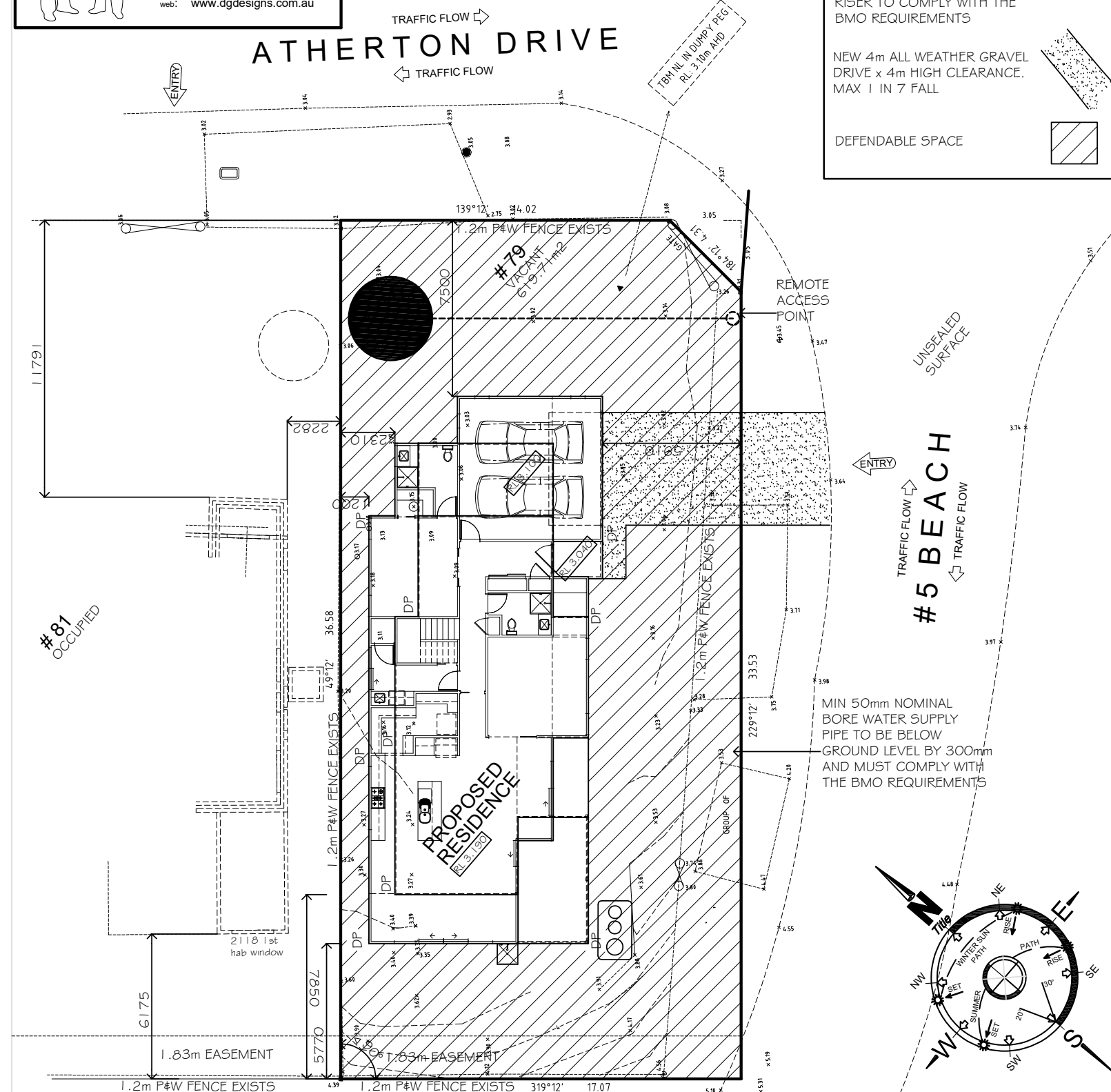


BAL-FZ



BUSH FIRE MANAGEMENT PLAN PAGE 17

5/04/2023 11:49:24 AM
79 ALLERTON DRIVE VENUS BAY VIC 3956

VERSION 2

05.04.23

SCALE 1:200 @ A3 SHEET

South Gippsland Shire Council

Council Meeting No.483 - 28 June 2023

Construction of the dwelling will be to BAL FZ as per AS3959 2018.

The defensible space is to be provided for a distance of 10 metres around the dwelling or to the property boundary, whichever is lesser, where vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:

- ### Water Supply Remote Access - Fire Authority requirements

Unless otherwise agreed in writing by the relevant fire authority, the water supply must :
10,000 litres of effective water supply for fire fighting purposes will be on site including:

- The CFA outlet will be:

- Easily accessible by a firefighter in the event of a bushfire,
- Clear of all vegetation for a distance of 1.5 metres,
- Setback from flammable objects (including timber fences and timber retaining walls) for a minimum distance of 1.5 m,
- Located a minimum distance of 10 metres and no more than 60 metres from the dwelling, and
- Oriented horizontally.

The internal diameter for the fitting connecting the tank to the pipeline will be equivalent to or greater than the internal diameter of the pipeline between the tank and the fire authority outlet.

The centreline of the CFA outlet will be:

- A minimum of 300mm and maximum 600mm in height above the finished ground level, and
- Located below the level of the outlet on the tank.

The riser for the CFA outlet will be supported by a galvanised steel post at least 50mm x 50mm or equivalent which is concreted in the ground to a depth of at least 450mm.

A 65mm British Standard Pipe (BSP) ball or gate valve will be provided at the CFA outlet to control the flow of water to the CFA coupling. Any other valves between the CFA outlet and the tank will be locked in the open position.

The CFA outlet will be easily identifiable from the entrance to the property or signage will be provided that meets the following requirements:

- Has an arrow pointing to the location of the fire authority outlet,
- Has dimensions of not less than 310mm high and 400mm long,
- Is red in colour, with a blue reflective marker attached, and
- Is labelled with a 'W' that is not less than 15cm high and 3cm thick.

The CFA outlet will include a fade-resistant or engraved sign that:

- a) Is fixed to the post supporting the fire authority outlet riser,
- b) Has a minimum height of at least 1.5m from the ground surface level, and
- c) Includes the words "FIRE WATER TANK OUTLET" in lettering that is a minimum of 50mm in height and white on a red background.

A blue reflective disc at least 50mm in diameter will be attached to the post holding the sign. The blue reflective disc will be located immediately below the sign.

All below-ground water pipes will be installed to provide at least the following cover below the finished surface:

- 300 mm for pipes subject to vehicle traffic,
- 75 mm for pipes under dwellings or concrete slabs, and
- 225 mm for all other locations.

This site will require;

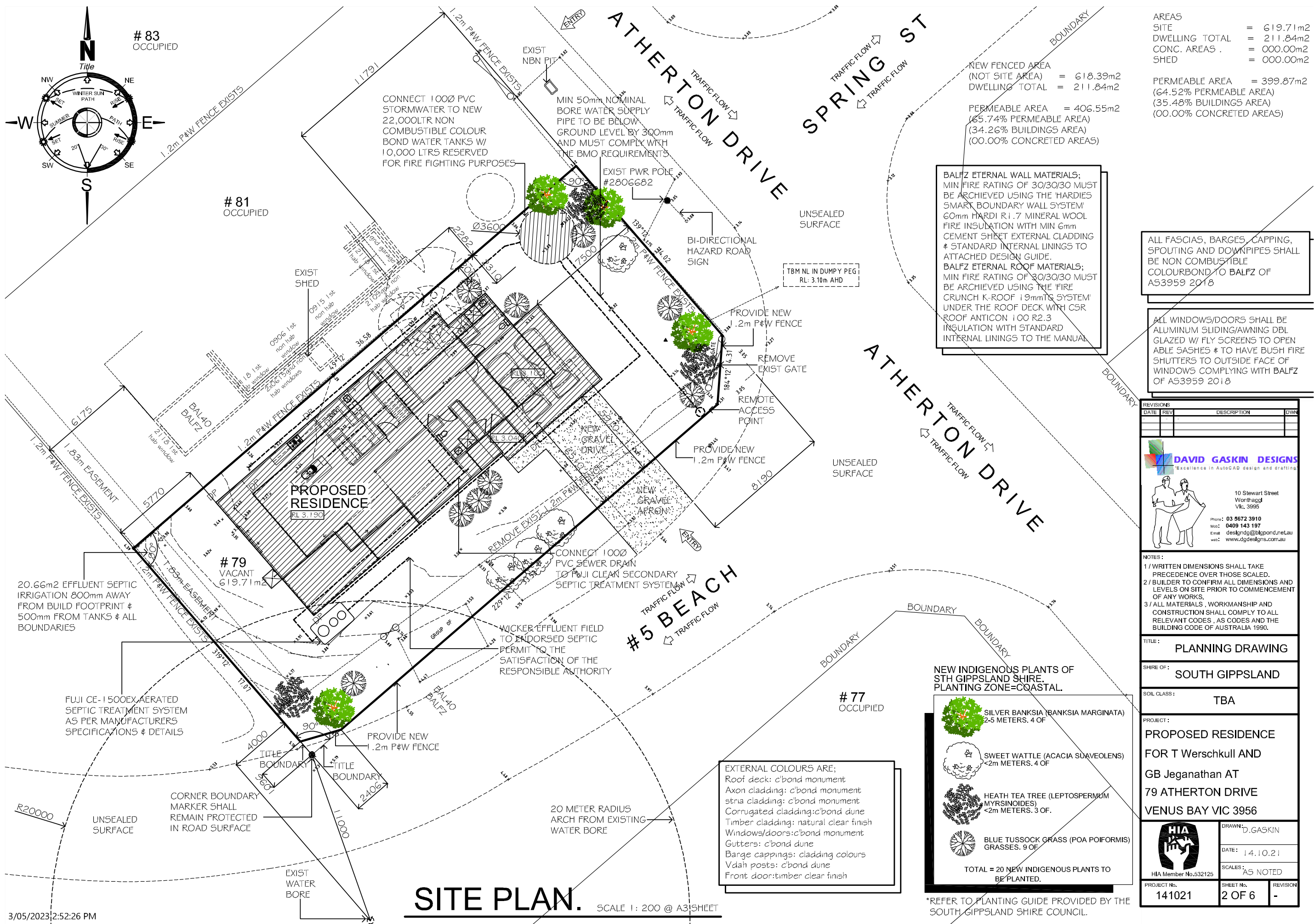
- PVC/cu 100mm diameter class 12
 - HDPE 125mm PN12.5
- Pipes between the water supply tank and the remote access outlet to a depth of at least 225mm.

Access designed to accommodate CFA access

The length of access is less than 30 metres. Remote outlet access will be piped to the front of the property for ease of access.

The following design and construction requirements apply:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.



- GENERAL NOTES
- 1/ Verify all dimensions on site prior to commencing any site works or making any shop drawings

2/ Do not scale drawings.
Figured dimensions take precedence over those scaled.

3/ All sizes, levels & conditions on site must be verified prior to commencing any site works and any discrepancies must be reported to DAVID GASKIN DESIGNS.

4/ All materials, workmanship, materials and methods of construction shall comply with all relevant S.A.A. codes, NCC, municipal council by-laws regulations.

5/ All concrete footings are to be founded at a depth of minimum required bearing capacity and/or in accordance with soil report recommendation where supplied and as per AS 2870 and/or engineers computations.

6/ Footings are not to encroach title boundaries or easement lines.

7/ All foundations must be inspected and approved by the relevant building inspector before concrete is poured.

8/ Full concrete strength is achieved after 28 days.

9/ All roof and wall bracing etc. is to be in accordance with A.S. 1684 section 8 (latest edition) & Timber Framing Manual requirements.

10/CL= centre line of particular members.

11/FFL = finished floor level.
FCL= finished ceiling level.

12/The builder shall take all steps necessary to ensure the stability of new & existing structures effected by these works on this & adjacent allotments.

13/The builder shall ensure the water tightness of all new structures .

14/DP= denotes 90 dia. pvc down pipes connecting to 90mm storm water pipes as noted on site plan and shall be taken to legal point of discharge or to existing.

15/All plumbing, electrical, mechanical services, sound/data and reverse cycle slit system air conditioning to be advised by owner unless noted otherwise on drawings and specifications.

16/All fittings, fixings, interior finishes and hardware to be advised by owner noted in specifications.

17/These drawings are to be read in conjunction w/ engineers computations/drawings and all other service drawings and project specifications.

18/Where required termite treatment to comply with NCC part 3.1.3 and AS 3660

19/These drawings are not to be copied by another party unless written permission is give by owner or this office.

20/ALL WINDOWS/DOORS SHALL BE ALUMINUM SLIDING/AWNING DBL GLAZED W/ FLY SCREENS TO OPENABLE SASHES & TO HAVE BUSH FIRE SHUTTERS TO OUTSIDE FACE OF WINDOWS/DOORS COMPLYING WITH BALFZ OF AS3959 2018 All glazing to have a clear finish uno and must be in accordance . All glazing to have a clear finish uno and must be in accordance with A.S. 1288 (latest edition). top of windows shall be installed to external walls 2100mm approx above finished floor level. Glazing in windows shall also comply to the NCC clause 3.12. Please see attached assessment.

21/Window sizes are nominal only (unless a specific manufacturer is specified) and may vary according to the suppliers range.

22/Provide roof tie downs in accordance with surveyors requirements and AS 1684.

23/Tie all rafters/ trusses to walls/ beams with 20mm galv. hoop iron fixed as per AS 1684.
Tie all roof battens to rafters/ trusses at every 2nd intersection staggered from row to row.

24/Check block dimensions on site prior to commencement of works. Dimensions obtained from certificate of title.

25/Approval from local waterboard authority will be required before a building permit is granted.

26/Provide barrup trusses where necessary within traditional pitched and propped roof construction in accord with surveyors requirements

27/This office under no circumstances accepts responsibility for any breach of copyright that may occur from information supplied by the client.

28/If building is located within a designated bushfire prone area building shall be protected in accordance with A.S. 3959 (latest edition) and shall be determined by relevant building surveyor.

29/Construction of sanitary compartments to be in accord with NCC. (latest edition - the door to a fully enclosed sanitary compartment must open outwards, or slide, or be readily removable from outside the compartment unless there is a clear space of at least 1200mm between the closet pan within the sanitary compartment and the nearest part of the doorway

30/All timber sizes, spans and construction derived from AS 1684.4 & AS 1684.2, residential timber framed construction (non cyclonic) and all construction shall comply and be referred to by builder. Hyspan beams/ rafters derived from Hyspan span tables & details. Bracing shall comply to section 6,7 & 8 of AS 1684.2 1999. Designing wind classification= N2. Externally exposed Hyspan shall be coated in a waterproof finish to protect lamination.

31/All fixings for treated pine must be of the galvanized type. All nail laminated timber shall comply to AS 1684.

SMOKE DETECTORS

Ⓢ

Provide interconnected smoke detectors as denoted on floor plan as required in accord with A.S. 3786 (latest edition)Smoke alarms to new residences are to be hardwired to switchboard with battery backup. Position shall be flush fitted at ceiling level.

- 32/Provide impervious floor & wall coverings to all wet areas except kitchen floor: 1900mm above shower bases, 200mm above vanities, troughs & the like, & 600mm above bathes
- NOTE:
-These notes are neither exhaustive nor a substitute for regulations, statutory requirements, building practice or contractual obligations and unless expressly stated otherwise are provided only as guidelines - no responsibility is accepted for their use.
- 33/All floor to ceiling heights nominated on these plans indicate the dimension from concrete slab / top of timber floor level to underside of ceiling lining.
- 34/All dimensions noted on floor plans, sections and external elevations represent timber frame and structural member measurements, not finished plaster measurements.
Finished room sizes measured after plaster installation will vary accordingly.
- 35/Unless noted otherwise, all dimensions on the internal elevations represent finished plaster measurements.
- 36/All construction is to comply with the recommendations listed in the 'Guide to Standards and Tolerances' issued by the Building Commission 2002.
- 37/Provide sub soil ventilation & sub floor access door. Position advised by owner or as per position noted on elevations.(Delete this if a concrete slab is used)

STEP NOTES

- 1/Set out & determine all steps on site in accord with NCC.
- 2/Tread - minimum 240mm, maximum 355mm
Riser - maximum 190mm, minimum 115mm
- 3/Provide handrails to all decks etc. where height out of ground exceeds 1000mm - handrails to be min.1000mm high above floor & landings & min. 865mm high above tread nosing line
- 4/Provide max. 125mm gaps to all rails, ballusters, open risers & the like in required stairs in accordance with NCC. (latest amendment) and AS 1657
- 5/Provide landings where 2 or more risers are required.

INSULATION GUIDE

- EXTERNAL WALLS: 'HARDIES' smart boundary wall system. 60mm Hardi R1.7 mineral wool fire insulation.
- ROOF/CEILINGS: Provide min R4.0 earthwool insulation installed between new truss bottom chords, rafters or between ceiling joists.
Provide single sided lam. reflective foil under roof sheeting.
'Fire crunch k-roof 19mm tg system' under the roof deck with csr roof anticon 100 R2.3 insulation.
- SUB FLOORS: Na
- INTERNAL WALLS: Provide R2.5 in garage, entry, bed 1 & ensuite walls
- 1ST FLOOR: Provide R4.0 in void between ceiling & flooring to 1st floor in between floor joists.

Note. reflective face of sisilation to face towards inside of structure and shall have a flammability index of not more than 5.

ENERGY NOTES.

- 1/Window coverings shall be holland blinds.
- 2/Seal all gaps and cracks. Weather proof all external doors with raven seals.
- 3/All exhaust fans shall be self closing when not operating & to be ducted to the outside atmosphere.
- 4/Floor coverings illustrated as tiles on floor plan uno.
- 5/All external windows shall comply with NCC 2022 part 3.12.

SOIL CLASSIFICATION

- 1/Assumed class A - Builder/owner must confirm (pending soil test if req'd by building surveyor) prior to any site works commencing and notify this DAVID GASKIN DESIGNS immediately if other conditions exist.
- 2/Footings to comply with AS 2870 and engineers computations uno.
- 3/Concrete strength to be min 25 mpa uno.
- 4/Owner should not plant trees closer than their mature height from the edge of the footing.
- 5/Owner is to maintain site drainage away from the footing always and repair any sewer, water and drainage pipes which may cause moisture changes in the vicinity of the footing.

Note: Refer to CSIRO information sheet 10 91 and requirements of AS 2870 2011 to indicate owners responsibilities with regard to footing maintenance & conditions

EXTERNAL COLOURS ARE;
Roof deck: c'bond monument
Axon cladding: c'bond monument
stria cladding: c'bond monument
Corrugated cladding:c'bond dune
metal fascia: c'bond dune
Windows/doors:c'bond monument
Gutters: c'bond dune
Barge cappings: cladding colours
Vdah posts: c'bond dune
Front door:timber clear finish

BALFZ ETERNAL WALL MATERIALS;
MIN FIRE RATING OF 30/30/30 MUST BE ARCHIEVED USING THE 'HARDIES SMART BOUNDARY WALL SYSTEM'
60mm HARDI R1.7 MINERAL WOOL FIRE INSULATION WITH MIN 6mm CEMENT SHEET EXTERNAL CLADDING & STANDARD INTERNAL LININGS TO ATTACHED DESIGN GUIDE.
BALFZ ETERNAL ROOF MATERIALS;
MIN FIRE RATING OF 30/30/30 MUST BE ARCHIEVED USING THE 'FIRE CRUNCH K-ROOF 19mmTG SYSTEM' UNDER THE ROOF DECK WITH CSR ROOF ANTICON 100 R2.3 INSULATION WITH STANDARD INTERNAL LININGS TO THE MANUAL

REVISIONS

DATE	REV	DESCRIPTION	DWN

DAVID GASKIN DESIGNS

Excellence in AutoCAD design and drafting

10 Stewart Street
Wonthaggi
Vic. 3995

Phone: 03 5672 3910
Mob: 0409 143 197
Email: designdg@bigpond.net.au
web: www.dgdesigns.com.au

NOTES :
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2 / BUILDER TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS.
3 / ALL MATERIALS , WORKMANSHIP AND CONSTRUCTION SHALL COMPLY TO ALL RELEVANT CODES , AS CODES AND THE BUILDING CODE OF AUSTRALIA 1990.

TITLE :
PLANNING DRAWING

SHIRE OF :
SOUTH GIPPSLAND

SOIL CLASS :
TBA

PROJECT :
PROPOSED RESIDENCE
FOR T Werschkuhl AND
GB Jeganathan AT
79 ATHERTON DRIVE
VENUS BAY VIC 3956

HIA

Member No.532125

DRAWN :
D.GASKIN

DATE :
14.10.21

SCALES :
AS NOTED

PROJECT No.
141021

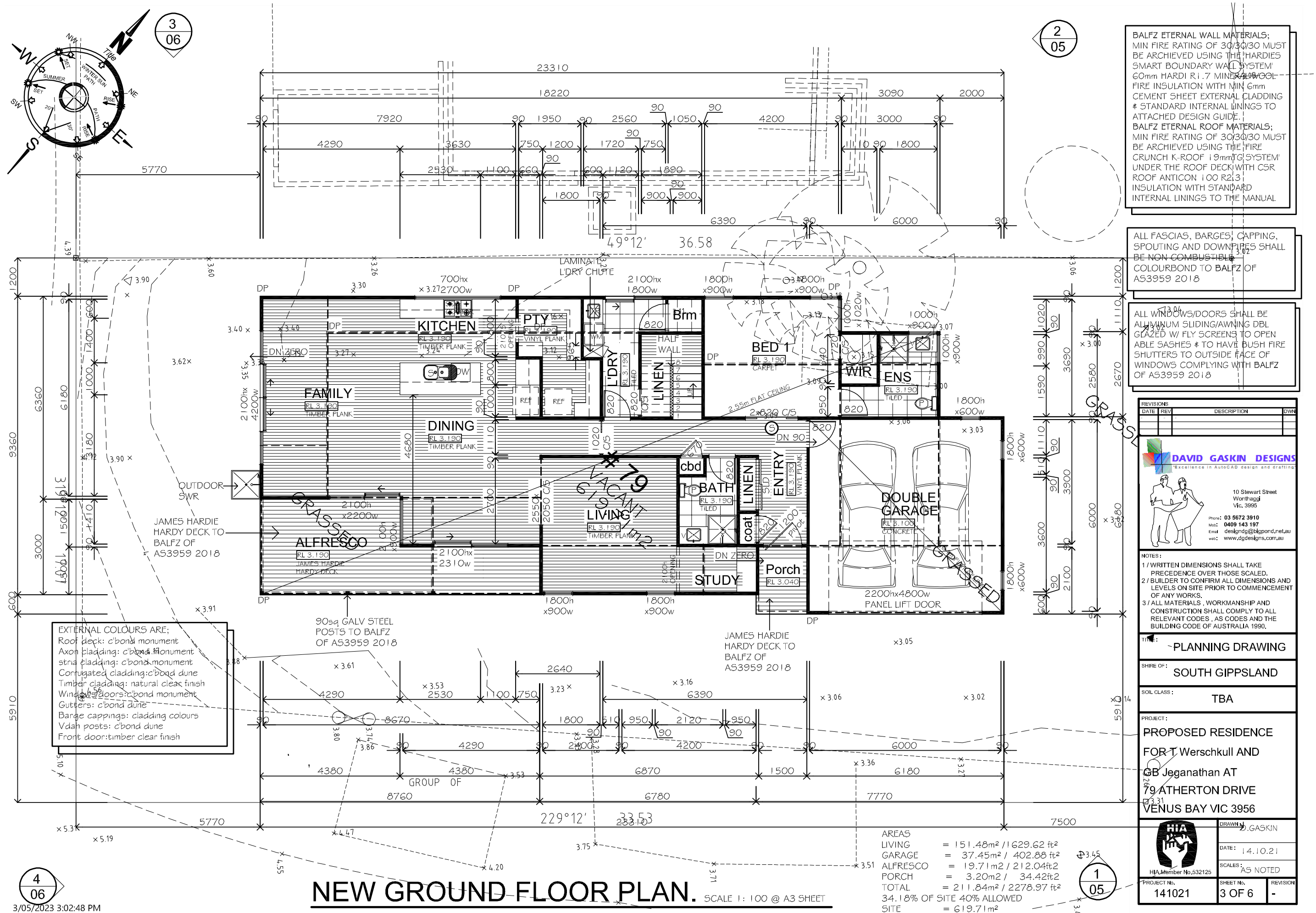
SHEET No.
1 OF 6

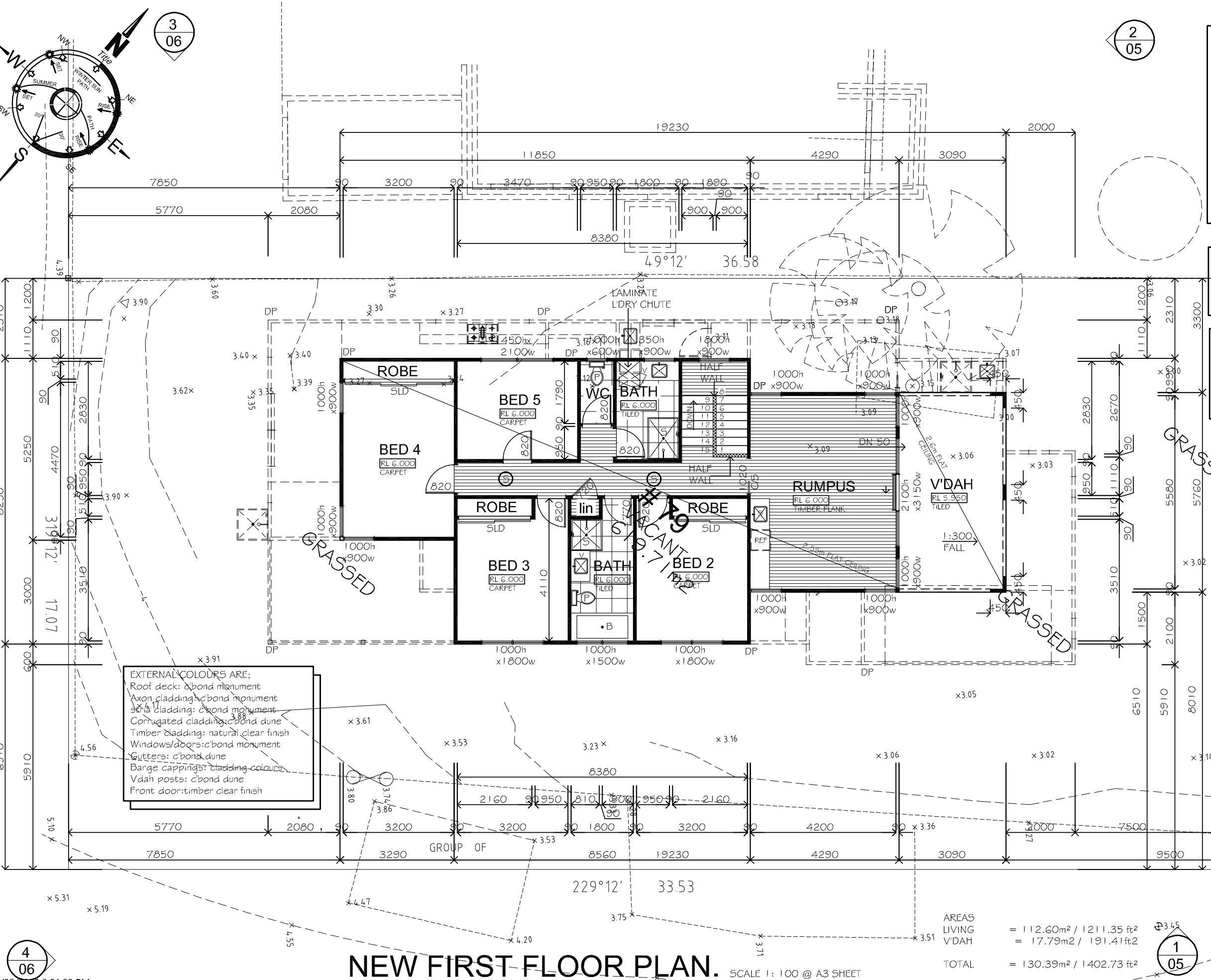
REVISION
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South Gippsland Shire Council

Council Meeting No.483 - 28 June 2023





BALFZ ETHERNAL WALL MATERIALS;
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UNDER THE ROOF DECK WITH CSR
ROOF ANTICON 100 R2.3
INSULATION WITH STANDARD
INTERNAL LININGS TO THE MANUAL

ALL FASCIAS, BARGES, CAPPING,
SPROUTING AND DOWNPIPES SHALL
BE NON COMBUSTIBLE
COLOURBOND TO BALFZ OF
A53959 2018

ALL WINDOWS/DOORS SHALL BE
ALUMINIUM SLIDING/AWNING DBL
GLAZED W/ FLY SCREENS TO OPEN
ABLE SASHES & TO HAVE BUSH FIRE
SHUTTERS TO OUTSIDE FACE OF
WINDOWS COMPLYING WITH BALFZ
OF A53959 2018


REVISIONS		DESCRIPTION	DWN
DATE	REV		

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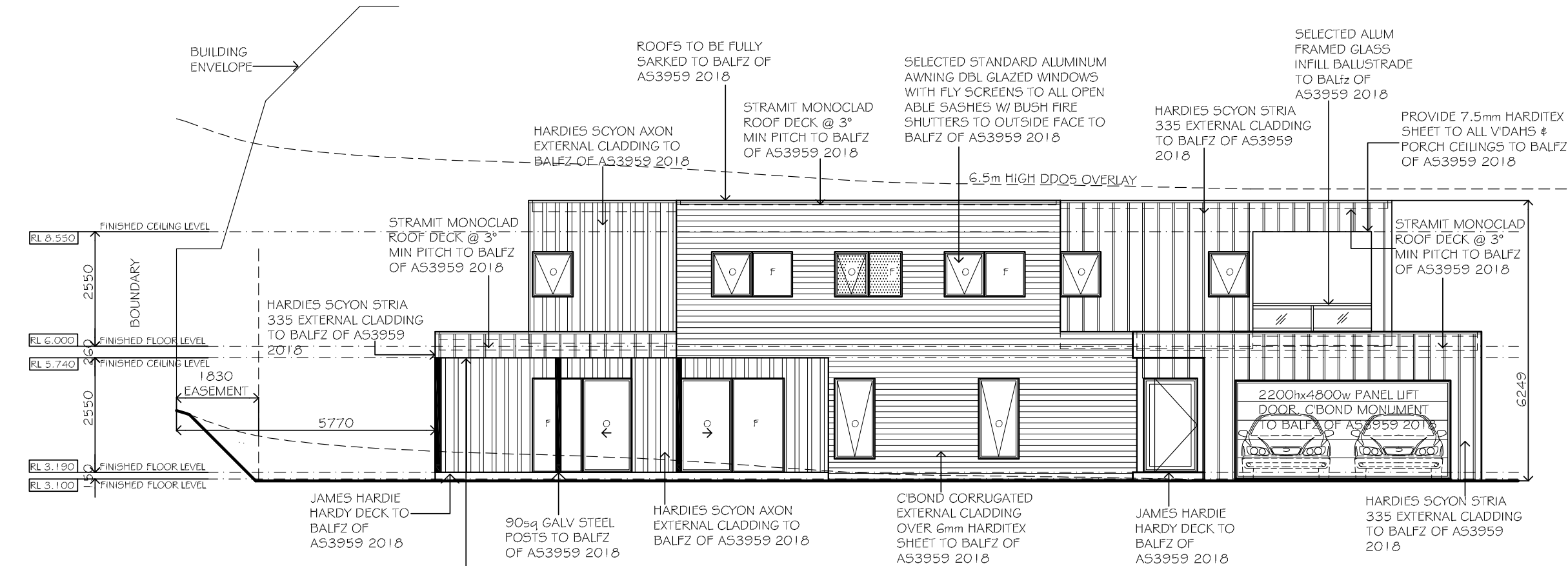
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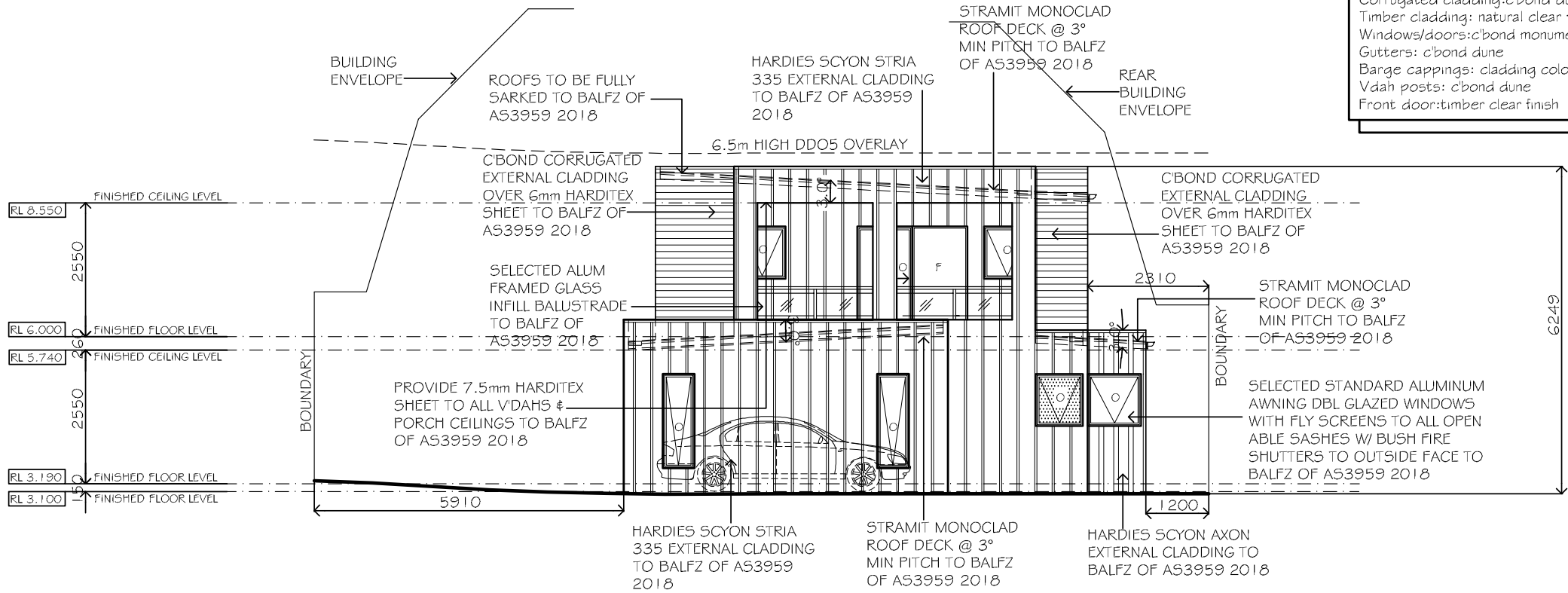
TITLE: PLANNING DRAWING		
SHIRE OF: SOUTH GIPPSLAND		
SOIL CLASS: TBA		
PROJECT: PROPOSED RESIDENCE FOR T Werschull AND CB Meganathan AT 79 A THERTON DRIVE VENUS BAY VIC 3956		
 HIA Member No. 632125	DRAWN: D. GASKIN	
	DATE: 14.10.21	
	SCALES: AS NOTED	
PROJECT No. 141021	SHEET No. 4 OF 6	REVISION

AREAS LIVING V'DAH	= 112.60m ² / 1211.35 ft ² = 17.79m ² / 191.41 ft ²
TOTAL	= 130.39m ² / 1402.73 ft ²



ELEVATION ONE. SCALE 1: 100 @ A3 SHEET
LOOKING FROM SOUTH

EXTERNAL COLOURS ARE;
Roof deck: c'bond monument
Axon cladding: c'bond monument
stria cladding: c'bond monument
Corrugated cladding: c'bond dune
Timber cladding: natural clear finish
Windows/doors: c'bond monument
Gutters: c'bond dune
Barge cappings: cladding colours
Vdah posts: c'bond dune
Front door: timber clear finish



ELEVATION TWO. SCALE 1: 100 @ A3 SHEET
LOOKING FROM EAST

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FIRE INSULATION WITH MIN 6mm
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ROOF ANTICON 100 R2.3
INSULATION WITH STANDARD
INTERNAL LININGS TO THE MANUAL

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COLOURBOND TO BALFZ OF
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ALL WINDOWS/DOORS SHALL BE
ALUMINUM SLIDING/AWNING DBL
GLAZED W/ FLY SCREENS TO OPEN
ABLE SASHES & TO HAVE BUSH FIRE
SHUTTERS TO OUTSIDE FACE OF
WINDOWS COMPLYING WITH BALFZ
OF AS3959 2018

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TITLE: **PLANNING DRAWING**

SHIRE OF: **SOUTH GIPPSLAND**

SOIL CLASS: **TBA**

PROJECT: **PROPOSED RESIDENCE
FOR T Werschull AND
GB Jegathanan AT
79 ATHERTON DRIVE
VENUS BAY VIC 3956**

HIA Member No. 532125

DRAWN: D. GASKIN

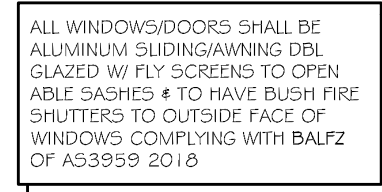
DATE: 14.10.21

SCALE: AS NOTED

PROJECT No. 141021

SHEET No. 5 OF 6

REVISION: -



SCALE 1: 100 @ A3 SHEET

EXTERNAL COLOURS ARE;
 Roof deck: c'bond monument
 Axon cladding: c'bond monument
 stria cladding: c'bond monument
 Corrugated cladding: c'bond dune
 Timber cladding: natural clear finish
 Windows/doors: c'bond monument
 Gutters: c'bond dune
 Barge castings: cladding colours
 Vdah posts: c'bond dune
 Front door: timber clear finish



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SHIRE OF: **SOUTH GIPPSLAND**

SOIL CLASS:	TBA
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PROJECT :
PROPOSED RESIDENCE
FOR T Werschkull AND
GB Jeganathan AT
79 ATHERTON DRIVE
VENUS BAY VIC 3956



DATE: 14.10.21

SCALES: AS NOTED

PROJECT No.	SHEET No.	REVISION
141021	6 OF 6	-

SCALE 1: 100 @ A3 SHEET

LOOKING FROM WEST